



AGENDA

The Columbia Architectural Design Review Team will meet on Tuesday, June 7th, 2022 at 8:00 a.m. in Conference Room A on the basement level of City Hall, 700 N. Garden Street to consider the following:

I. Roll Call

II. Approval Of Minutes

Documents:

[ART_20220510 MINUTES -DRAFT.DOCX](#)

III. Old Business

IV. New Business

8:10 AM 22-0119 - 2008 Main Street - Modify Façade Of Existing Building
Request from Richard Thompson on behalf of Ritco Group, Inc for façade modifications at [2008 S. MAIN STREET.](#)

. 22-0119_Supporting Documentation

Documents:

[22-0119 POWER OF ATTORNEY.PDF](#)
[22-0119 ART APPLICATION -FINAL 2022-05-12.PDF](#)
[22-0119 PLAN-EXTERIOR 2022-05-09.PDF](#)

. 22-0119_Staff Report

Documents:

[22-0119_STAFF REPORT 2008 MAIN STREET.DOCX](#)

8:25 AM 22-0124 - 915 S. Garden Street - Modify Façade Of Existing Building

After-the-fact request from Bobby Bishop to modify the façade of an existing commercial building at [915 S. GARDEN STREET](#).

. 22-0124_Supporting Documentation

Documents:

[22-0124 915 S GARDEN RENDERINGS_APPLICATION.PDF](#)

. 22-0124 Staff Report

Documents:

[22-0124_STAFF REPORT 915 S GARDEN.DOCX](#)

8:40 AM 22-0128 - 400 Bear Creek Pike - Proposed Commercial Building In Planned Unit Development

Request from Greg Gamble on behalf of Big Bear Bluffs LLC for approval of commercial facades which are proposed as part of a larger mixed-use Planned Unit Development located on [Tax Map 90 Parcels 16 and 12.01](#) at approximately 400 Bear Creek Pike.

. 22-0128_Supporting Documentation

Documents:

[22-0128 APPLICATION_ART.PDF](#)

[22-0128 DAYCARE CENTER ELEVATIONS.PDF](#)

. 22-0128_Staff Report

Documents:

[22-0128_STAFF REPORT 400 BEAR CREEK PIKE.DOCX](#)

8:55 AM 22-0137 - 1002 Carmack Blvd - Modify Façade Of Existing Building

Request from Chet Rhodes on behalf of Gholamreza Ebrahimzadeh to modify the façade of a structure at [1002 CARMACK BLVD](#) in order to convert the space from a day care to a tire shop.

. 22-0137_Supporting Documentation

Documents:

[22-0137_APP_0516.PDF](#)

[22-0137_ELEVATIONS_0516.PDF](#)

. 22-0137_Staff Report

Documents:

[22-0137 STAFF REPORT 1002 CARMACK BLVD.DOCX](#)

9:10 AM 22-0139 - 376 Bear Creek Pike - Add Covered Porch To An Existing Building

Request from Cindy Lou Peowski to remove a previously approved and partially constructed pergola and add a covered porch to an existing structure at [376](#)

BEAR CREEK PIKE.

. 22-0139_Supporting Documentation

Documents:

22-0139 CONCEPT RENDERINGS - 376 BEAR CREEK PIKE.PDF
22-0139 REVISED SITE PLAN 4-26-22 WITH 3 TREES 376 BEAR
CREEK PIKE - THE BACK PORCH MARKET.PDF

. 22-0139_Staff Report

Documents:

22-0139_376 BEAR CREEK PIKE.DOCX

9:25 AM 22-0140 - 1706 Wedgewood Drive - Modify Façade Of Existing Building
Request from George Nuber to modify the facade of an existing office building
located at 1706 WEDGEWOOD DRIVE.

. 22-0140_Supporting Documentation

Documents:

2021011_A2.1 - 2.PDF
2021011_C1.1A-SITE PLAN.PDF
APPLICATION_ART_HUTTON-05-16-22.PDF
22-0140 _ REVISION 2021011_C1.1B.PDF
22-0140_APP_0516.PDF
2021011_A1.1 - FLOOR LAYOUT PLAN.PDF
2021011_A2.1 - 1.PDF

22-0140 Staff Report

Documents:

22-0140_STAFF REPORT 1706 WEDGEWOOD DRIVE.DOCX

9:40 AM 22-0142 - 5000 Trotwood Avenue - New Commercial Façade
Request from Bhavin "Bobby" Patel for design review of a new retail strip center
located at 5000 TROTWOOD AVENUE.

. 22-0142 Supporting Documents

Documents:

22-0142_RETAIL ILLUSTRATION_0516.PDF
22-0142_SITE PLAN_0516.PDF
22-0142_APP_0516.PDF
22-0142_FLOOR PLAN - ELEVATIONS_0516.PDF

. 22-0142_Staff Report

Documents:

22-0142_STAFF REPORT 5000 TROTWOOD AVE.DOCX

V. Adjourn

Anyone requesting accommodations due to disabilities should contact the City's ADA Coordinator at 931-560-1570 prior to the meeting.

The [2022 meeting schedule](#) can be found on the City of Columbia Architectural Design Review Team [webpage](#).

For other questions, please contact the [Department of Development Services](#) at 931-560-1560.

City of Columbia
ARCHITECTURAL DESIGN REVIEW TEAM
May 10, 2022

CALL TO ORDER:

The April meeting of the Architectural Design Review Team for the City of Columbia was called to order at 9:01 a.m. The meeting was held in Conference Room A, City Hall basement level.

ROLL CALL: All present and included the following:

Present were: Mr. Austin Brass
Mr. Glenn Harper
Mr. Randy McBroom
Mr. James Sloan
Ms. Kara Williams

Others attending: Mr. Kevin McCarthy, Planning Associate II
Mr. Travis Neas, Chief Building Official
Ms. Sandra Richardson, Secretary
Ms. Melissa Sanders, Planning Associate I

APPROVAL OF MINUTES:

Mr. Sloan made the motion to approve the April minutes, with Ms. Williams seconding the motion. The motion passed with a vote of five to zero.

3. Old Business

AGENDA ITEM #3.1

Case #ART-2022-0064

Request from T J Electrical Co. for façade modifications at 2211 Carmack BLVD.

Staff Recommendation:

Mr. Brass presented the Team with the details of the agenda item. The applicant has provided revised drawings.

Discussion and Motion:

Mr. Lucian Barbu, was present to answer questions. Discussion included stone, price point, matching, adding four inches on the bottom, four inches EFIS trim, concrete, existing stone, energy efficient, and material change. Mr. Sloan moved to approve with Mr. Harper seconding. Motion to approve passed five to zero.

City of Columbia
ARCHITECTURAL DESIGN REVIEW TEAM
May 10, 2022

4.New Business

AGENDA ITEM #4.1

Case #ART-2022-0096

Request from Carmack Boulevard Church of Christ to replace canopy at 2111 Carmack Boulevard.

Staff Recommendation:

Mr. Brass presented the Team with the details of the agenda item. The only condition of approval is it may be recommended that the cladding over the wood post cladding be a fiber cement material in keeping with the guidelines in section 6.1. The material was for the actual post on the canopy. The work has been completed, and a stop work order had been placed on it. In order to move forward on this project, it had to come before this board.

Discussion and Motion:

Mr. Demetrius Nelson was present to answer questions. The Mr. Nelson stated that there were several steps they went through, but they were never guided to the Architectural Review Team until recently. They took off the canopy and made it the same pitch. They got guidance from Summertown Metals engineer on construction, and they reached out to the City about what would be needed for the permit. The Engineer was in touch with Travis Neas about maybe submitting a letter as opposed to a full withdrawal. Someone from the City showed up and said that they needed to come before the Architectural Design Review Team. Discussion included the post replacement, and emails were sent of the new material. Mr. Nelson stated that they were told to stop, but they beg forgiveness, because they had to pay the people so they continued because they had could not wait until the meeting today. They are almost completed now. Further discussion included approved material. Mr. Sloan moved to approve, with Mr. McBroom seconding. Motion to approve passed five to zero. Further discussion included the next step, of applying for the building permit, for the addition on the front. They applied for a building permit on February 21st, but it was not a smooth communication. There wasn't a slot for new roof, and they were back and forth for a few days and staff stopped communicating with them. Mr. Brass stated to go online and choose the commercial addition option.

City of Columbia
ARCHITECTURAL DESIGN REVIEW TEAM
May 10, 2022

AGENDA ITEM #4.11
Case #ART-2022-0104

Request from Highland Corporation for design of a proposed convenience store to be part of a commercial Planned Unit Development near the corner of Trotwood Avenue and Sunnyside Lane, at 4015 Trotwood Avenue.

Staff Recommendation:

Mr. Brass presented the Team with the details of the agenda item. The request is also at Planning Commission. It does have to go through a rezoning process. It will go before the Commission as a Planned Unit Development and part of that process is to come before the Design Review Team. Therefore, the Planning Commission looks at the Architectural Design Review Team for guidance moving forward. The overall material does meet the guidelines per the Zoning Code that staff is reviewing. The fuel pump on the canopy column does not have the proposed cladding material matching the primary structure in keeping up with precedence with the past approvals this will be matching the primary material. A low profile sign has also been included. This request with a brick base does match the primary structure.

Discussion and Motion:

Mr. Gerald Vick, WES Engineering, Mr. Bobby Page, Mr. Seth Blanks, Mr. David Adcox, and Ms. Emily Lansdell, were present to answer questions. Mr. Vick stated that they will be fine with the bricking the columns on the canopy. Discussion included renderings, the lowest material is block that is painted, textured block, split face is painted, textured CMU block, different material, spray it on, flaking over time, less variation, water proof and seal, brick on the pump columns and the brick all the way up to the canopy, Mr. McBroom moved to approve contingent on the brick and the columns on the pump all the way up to the top, seconded by Ms. Williams. Motion to approve passed with a condition of pigmented block five to zero.

City of Columbia
ARCHITECTURAL DESIGN REVIEW TEAM
May 10, 2022

AGENDA ITEM #4.111

Case #ART-2022-0108

**Request from Will Thomas for façade approval of self storage buildings at 1101
Nashville Highway.**

Staff Recommendation:

Mr. Brass presented the Team with the details of the agenda item. The primary material is brick, and on the long building there is a series of pilaster that break up the articulation.

Discussion and Motion:

Mr. Will Thomas, 101 Nashville Highway, was present to answer questions. Discussion included plan to take the tobacco barn down, the tenant will be out in November, the barn is part of the history, you will only be able to see the office, articulation, the interior, east elevation, proposed hotel, intersection, the feel of an alley, two story, a lot of buildings, plans need to show which building is which, and the buildings were pointed out in the staff report. Mr. Sloan moved to approve with Mr. Harper seconding. Motion to approve passed five to zero. Mr. Sloan stated for clarification if the applicant changes the brick colors they will not have to come back.

OTHER BUSINESS:

There was no new business to discuss.

ADJOURNMENT:

Mr. Sloan made the motion to adjourn with Mr. Harper seconding. Motion to adjourn passed four to zero. Meeting adjourned at 9:40 a.m.

Prepared By:

Dalton M. Mounger
Attorney at Law
Columbia, Tennessee

DURABLE GENERAL POWER OF ATTORNEY

1. Appointment of Attorney-in-Fact.

I, Frank McBride, residing in Columbia, Maury County, Tennessee, hereby appoint my nephew, Mark Hines, as my attorney-in-fact under the Uniform Durable Power of Attorney Act (Tennessee Code Annotated § 34-6-101, et seq.).

2. Powers.

I authorize my attorney-in-fact to take the following actions on my behalf:

a. **Monies.** To use the funds in any account of mine for my health, support and comfort; to collect any monies due me; to make deposits and withdrawals, whether by check or otherwise; to renew or not renew any certificates of deposit; and to have full access to the contents of my safe deposit box.

b. **Personal Property.** To buy, sell, rent, maintain and otherwise deal with my personal property on my behalf upon such terms and conditions as my attorney-in-fact may determine to be in my best interests including the power to execute sales contracts, bills of sale, notes, security agreements, titles and any other documents pertaining to personal property owned by me. This authorization includes, but is not limited to, securities, clothing, jewelry, furniture, furnishings and other household or personal effects.

c. **Real Estate.** To buy, sell, rent, maintain and otherwise deal with my real estate on my behalf upon such terms and conditions as my attorney-in-fact may determine to be in my best interests including the power to execute sales contracts, deeds, notes, mortgages, deeds of trusts, guaranties, closing statements, agreements with lenders regarding proceeds and any other

documents pertaining to real estate owned by me. This authorization includes, but is not limited to, my residence.

d. **Tax Matters.** To prepare, sign and file federal, state and local, income, gift or other tax returns of all kinds, claims for refunds, requests for extensions of time, and any and all other tax related documents including, without limitation, receipts, offers, waivers, consents (including, but not limited to, consents and agreements under Section 2032A of the Internal Revenue Code of 1986, as amended, (the "Code") or its successor), powers of attorney and closing agreements; to exercise any elections I may have under federal, state and local tax law; and, generally to act on my behalf in all tax matters of all kinds and for all periods before all persons representing the Internal Revenue Service and any other taxing authority, including receipt of confidential information and the posting of bonds.

e. **Information Including Medical Information.** To request, receive and review any information, verbal or written, regarding my personal affairs or my physical or mental health, including legal, medical and hospital records, individually identifiable health information and protected health information, and to execute any releases or other documents that may be required in order to obtain such information, and to disclose such information to such persons, organizations, firms or corporations as my attorney-in-fact shall deem appropriate. Any information governed by the Health Insurance Portability and Accountability Act of 1996 (HIPPA) shall be included in this authority.

f. **Retirement Plans.** Create, contribute to, borrow from and otherwise deal with an employee benefit plan or individual retirement account for my benefit, select any payment option under any employee benefit plan or individual retirement account in which I am a participant or change options I have selected, make "roll-overs" of plan benefits into other retirement plans, and apply for and receive payments and benefits.

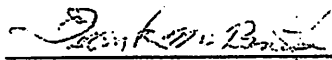
g. **Other Acts.** To take any and all actions on my behalf as fully and effectively as if I were personally present including, but not limited to, exercising the powers specifically enumerated in Tennessee Code Annotated § 34-6-109.

3. **Ratification of Acts.**

I hereby ratify and confirm all lawful acts done by my attorney-in-fact by virtue hereof.

This power of attorney shall not be affected by my subsequent disability or incapacity.

In Witness Whereof, I hereby execute this Durable General Power of Attorney on this the 16th day of October, 2015.



Frank McBride

**State of Tennessee
County of Maury**

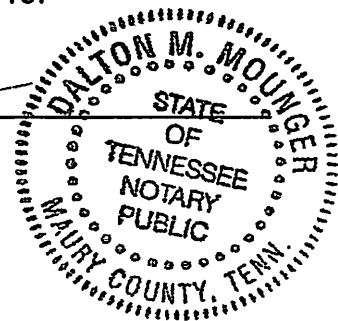
Personally appeared before me, the undersigned, Frank McBride, with whom I am personally acquainted, and who acknowledged that he executed the foregoing Durable General Power of Attorney for the purposes therein contained.

Witness my hand, at office, this 16th day of October, 2015.

My commission expires:

6.18.2019



Notary Public



ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION
DEADLINE: 3RD MONDAY OF THE MONTH AT 4:00 PM

| | | | |
|---------------------------------------|--|----------|----------------|
| ADDRESS/LOCATION | 2008 South Main Street, Columbia Tennessee 38401 | | |
| | TAX MAP: 100M | GROUP: N | PARCEL: 002.00 |
| SUMMARY OF NATURE OF REQUEST AND WORK | 1. Request: Review of Façade 2. Modernize/upgrade/improve exterior of structure, siding, roof, windows, storefront and landscaping 3. Request Alternative Compliance | | |

| | | |
|---|----------------|---|
| REQUEST DATE FOR PRE-APPLICATION CONFERENCE | April 27, 2022 | <i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i> |
|---|----------------|---|

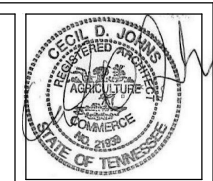
SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½" x 11"

| SELECT REQUEST | PLAN SHALL INCLUDE |
|---|---|
| <input checked="" type="checkbox"/> Façade Approval <input checked="" type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____ See attached Alternative Compliance request | <ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels. |

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.



PRELIMINARY NOT FOR CONSTRUCTION



| Number | Date | Description |
|--------|---------|-------------------------------|
| 1 | 1/18/22 | Add hand/sink & relocate sink |

SITE INFORMATION

Dicky Thompson
 Ritco Group, Inc.
 2008 South Main Street
 Columbia, TN 38401

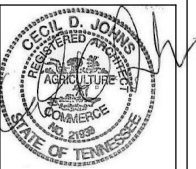
C. D. Johns Architect
 606 Riverside Drive,
 Columbia, TN, 38401
 615.443.4521 615.943.1362



DATE:
5/9/2022

SCALE:

SHEET #:
DA-1



| Number | Date | Description |
|--------|---------|------------------------------|
| 1 | 1/18/22 | Add handrail & relocate sink |

ELEVATIONS

Dicky Thompson
Ritco Group, Inc.
2008 South Main Street
Columbia, TN 38401

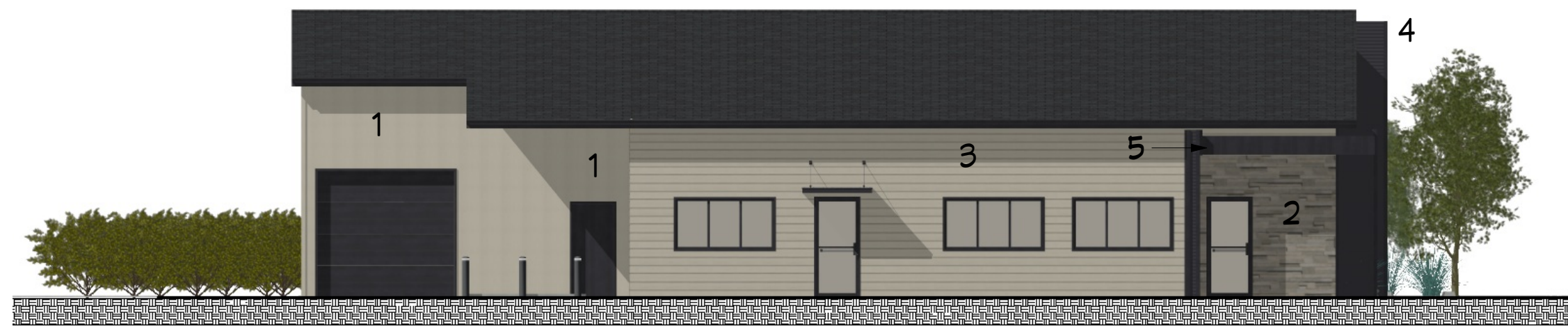
C. D. Johns Architect
606 Riverside Drive,
Columbia, TN, 38401
615.443.4521 615.943.1562



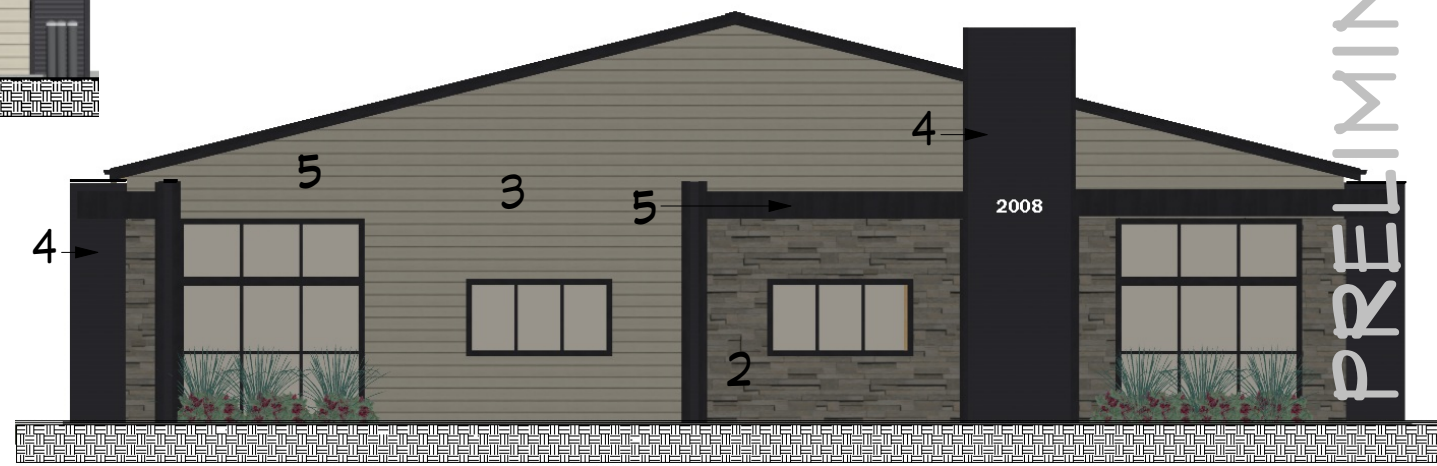
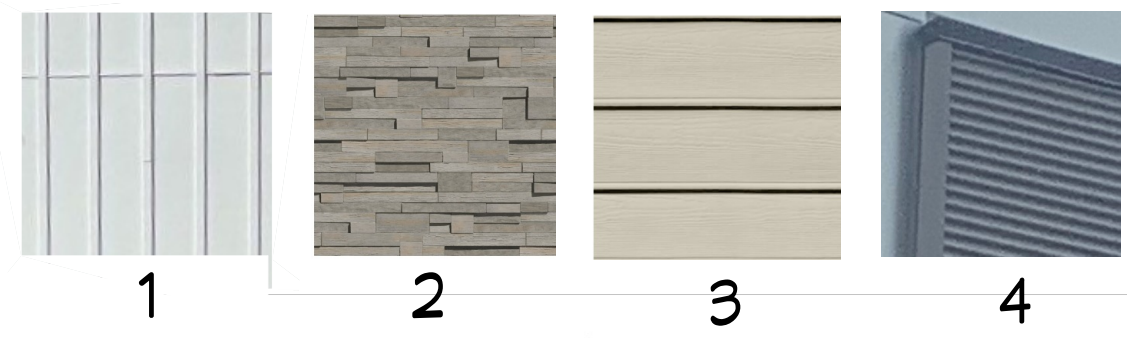
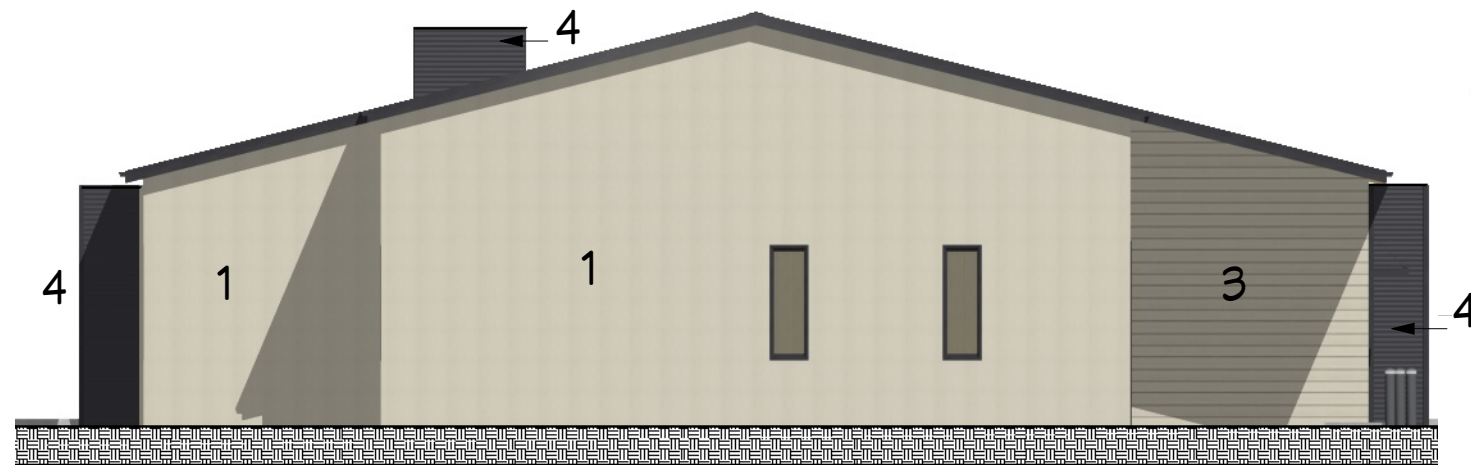
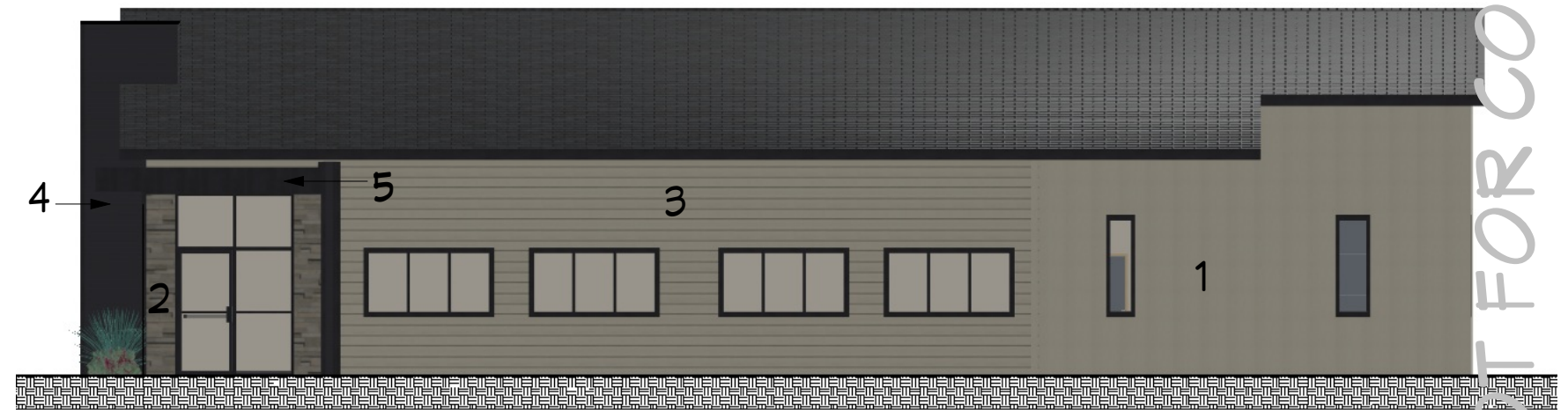
DATE:
5/9/2022

SCALE:
1/4" = 1'0"

SHEET #:
DA-2



- 1. JAMES HARDIE BOARD AND BATTEN - COBBLE STONE
- 2. CORONADO STONE - INDUSTRIAL LEDGE - SHALE GREY
- 3. JAMES HARDIE CEDARMILL LAP SIDING - COBBLE STONE
- 4. CORRIGATED METAL PANEL - CHARCOAL
- 5. METAL CLAD AWNING - CHARCOAL



PRELIMINARY NOT FOR CONSTRUCTION

CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0119

APPLICANT/OWNER

Ritco Group, inc./ Frank McBride Jr.

MEETING DATE

N/A

PROPERTY ADDRESS/LOCATION

2008 South Main Street

PROJECT DESCRIPTION:

This is request is for a façade modification of an existing pre-fabricated metal building that formerly served as a Spectrum sales office.



| EXISTING ZONING | EXISTING LAND USE | SURROUNDING ZONING & LAND USE | SITE IMPROVEMENTS | Historic District |
|---------------------------------|--------------------------|--|---------------------|-------------------|
| MCD (Mixed Commercial District) | Vacant Former Retail Use | MCD/ R-6 & Mixed Uses/ Single-Family Residential | Façade Modification | N/A |

Building Façade Design Standards Referenced:

Sec. 6.1 General 6.1.6 Building façade Design Standards

B. Standards

1. All facades shall be constructed of one or a combination of the following materials: concrete aggregate, stucco, brick, stone, glass or wood, faced concrete block.
2. No portion of building constructed of unadorned (un-faced) concrete masonry units or corrugated and/or sheet metal shall be used.
3. Monolithic buildings are prohibited and no single façade extending unbroken more than approximately 35 feet in a horizontal plane may be visible from a public roadway. Compliance may be obtained through the following:
 - a. The use of projections or recesses (articulation).
 - b. The use of architectural detail to provide visual interest including but not limited to: columns, large windows, entry ways, beams, poles, or glass.

C. Alternative Compliance

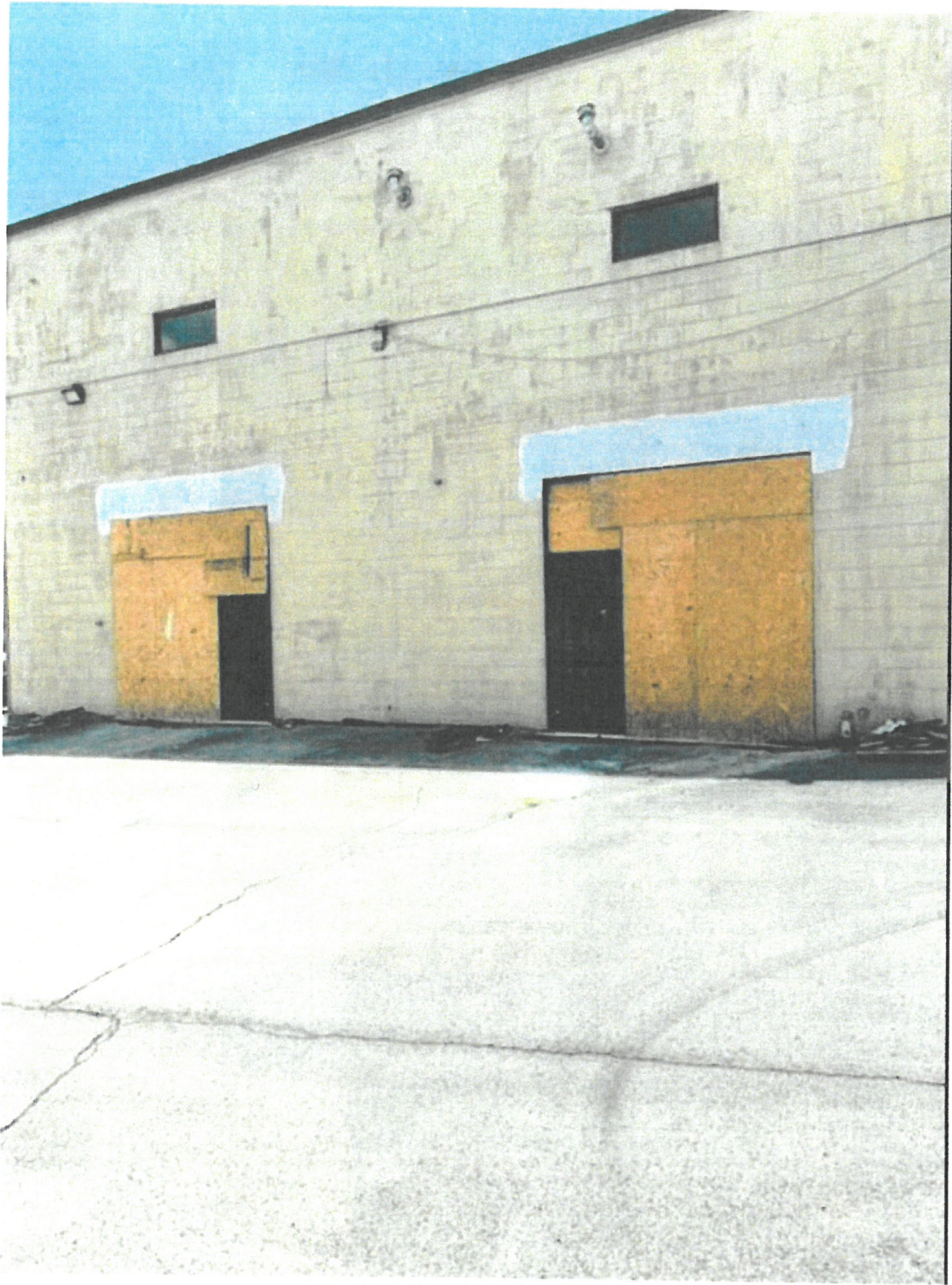
Alternative Compliance may be obtained using the Design Review process. In such cases, the Architectural Design Review Team shall have the authority to approve the following:

1. Materials of construction not listed, provided the materials used are implemented in a manner that enhances the surrounding area and complies with the intent of the code.

PLANNING STAFF EVALUATION:

This request is for the façade modification of an existing pre-fabricated metal building. The modification consists of recladding of a corrugated metal façade with fiber cement board and additional window openings including a front tower addition.

- The front facade consists of the recladding of metal with fiber cement board and the material change from brick to a ledge stone. Alternative compliance has been requested to allow for corrugated metal accents to the front façade. These materials meet the design standards as referenced with the exception of corrugated metal.
- A left and right elevation indicate the primary facade materials of a fiber cement board and batten including fiber cement board lap siding. In addition, a metal clad awning has been added over door openings. These materials meet the design standards as referenced.
- The rear elevation consists of the primary façade materials of board and batten lap siding including horizontal siding material consisting of fiber cement board. These materials meet the design standards as referenced.
- Alternative compliance has been requested to allow for minor sections of corrugated metal to be integrated in the faced change located at a proposed tower and end cap of the elevations.



1:51

LTE 

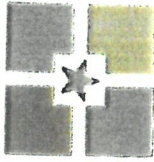


January 27
8:15 AM

Edit



Door



CITY OF
COLUMBIA
TENNESSEE

DEVELOPMENT SERVICES
700 NORTH GARDEN STREET
COLUMBIA, TN 38401
PHONE: (931) 560-1560
FAX: (931) 560-1541

ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION
DEADLINE: 3RD MONDAY OF THE MONTH AT 4:00 PM

| | | | |
|---------------------------------------|---|--------|---------|
| ADDRESS/LOCATION | | | |
| | TAX MAP: | GROUP: | PARCEL: |
| SUMMARY OF NATURE OF REQUEST AND WORK | Tear down 2 garage doors & put in walk in doors and glass, plus awnings over each doorway. 5 x 12' | | |

| | | |
|---|--|---|
| REQUEST DATE FOR PRE-APPLICATION CONFERENCE | | <i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i> |
|---|--|---|

SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8 1/2 "x11"

| SELECT REQUEST | PLAN SHALL INCLUDE |
|---|---|
| <input checked="" type="checkbox"/> Façade Approval <input type="checkbox"/> Large-scale Commercial Approval <input type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____ | <ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels. |

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

RECEIVED
MAY 16 2022
By:

APPLICANT

| | | | |
|---------|------|-------|--|
| NAME | Same | PHONE | |
| ADDRESS | | EMAIL | |

PROPERTY OWNER

| | | | |
|---------|---------------|-------|----------|
| NAME | Bobby Bishop | PHONE | 797-2269 |
| ADDRESS | 915 S. Garden | EMAIL | |

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

Bobby Bishop Bobby Bishop 5-16-22
 APPLICANT NAME APPLICANT SIGNATURE DATE

* Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.*

Barbara Bishop Barbara Bishop 5-16-22
 PROPERTY OWNER NAME PROPERTY OWNER SIGNATURE DATE

STAFF USE ONLY

| | | | |
|---|--|------------------|--|
| DOCKET NO. | | FEE PAID | |
| RECEIPT NO. | | REQUESTED AGENDA | |
| DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS | | | |
| DATE OF PUBLIC NOTICES IN DAILY HERALD | | | |
| BOARD ACTION | | | |

CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0124

APPLICANT/OWNER

Bobby Bishop

MEETING DATE

N/A

PROPERTY ADDRESS/LOCATION

915 S Garden Street

PROJECT DESCRIPTION:

This request is for the removal of two garage door openings to be replaced with storefront glass and doorways located at the rear elevation.



| EXISTING ZONING | EXISTING LAND USE | SURROUNDING ZONING & LAND USE | SITE IMPROVEMENTS | Historic District |
|---------------------------------|-------------------|-------------------------------|---------------------|-------------------|
| CBD (Central Business District) | Medical Office | CBD/ GCS & Auto Sales Retail | Façade Modification | N/A |

Building Façade Design Standards Referenced:

Sec. 6.1 General 6.1.6 Building façade Design Standards

B. Standards

1. All façades shall be constructed of one or a combination of the following materials: concrete aggregate, stucco, brick, stone, glass or wood, faced concrete block.
2. No portion of building constructed of unadorned (un-faced) concrete masonry units or corrugated and/or sheet metal shall be used.
3. Monolithic buildings are prohibited and no single façade extending unbroken more than approximately 35 feet in a horizontal plane may be visible from a public roadway. Compliance may be obtained through the following:
 - a. The use of projections or recesses (articulation).
 - b. The use of architectural detail to provide visual interest including but not limited to: columns, large windows, entry ways, beams, poles, or glass.

C. Alternative Compliance

Alternative Compliance may be obtained using the Design Review process. In such cases, the Architectural Design Review Team shall have the authority to approve the following:

1. Materials of construction not listed, provided the materials used are implemented in a manner that enhances the surrounding area and complies with the intent of the code.

PLANNING STAFF EVALUATION:

This request is for modification of two existing garage door openings to be replaced with storefront style windows and glass. This request would comply with the guidelines as cited in section 6.1



ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION
DEADLINE: 3RD MONDAY OF THE MONTH AT 4:00 PM

| | | | |
|---------------------------------------|---|--------|----------------------|
| ADDRESS/LOCATION | 400 Bear Creek Pike | | |
| | TAX MAP: 90 | GROUP: | PARCEL: 12.01 & 16.0 |
| SUMMARY OF NATURE OF REQUEST AND WORK | <p>This request is for the facade approval of the architecture for the commercial component of the Columbia Bluffs Preliminary Master Development Plan.</p> <p>The commercial structure is a day care facility.</p> | | |

| | | |
|---|--|---|
| REQUEST DATE FOR PRE-APPLICATION CONFERENCE | | <i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i> |
|---|--|---|

SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½"x11"

| SELECT REQUEST | PLAN SHALL INCLUDE |
|---|---|
| <input checked="" type="checkbox"/> Façade Approval <input type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____ | <ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels. |

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

APPLICANT

| | | | |
|---------|--|-------|------------------------|
| NAME | Greg Gamble | PHONE | 615.975.5765 |
| ADDRESS | 3020 Stansberry Lane, STE201; Franklin TN 37069 | EMAIL | greg.gamble@gdc-tn.com |

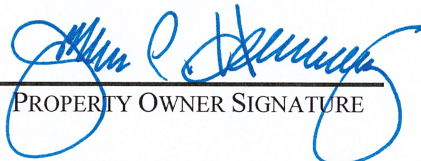
PROPERTY OWNER

| | | | |
|---------|--|-------|--------------------|
| NAME | HK BIG BEAR BLUFFS LLC JAMES P. HARVEY | PHONE | 813-615-1244 |
| ADDRESS | 14025 RIVEREDGE DR. # 175 TAMPA, FL 33637 | EMAIL | JHARVEY@KOLTER.COM |

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

| | | |
|--|--|------------------------------------|
| <p>Greg Gamble</p> <hr/> <p>APPLICANT NAME</p> |  <hr/> <p>APPLICANT SIGNATURE</p> | <p>5.16.2022</p> <hr/> <p>DATE</p> |
|--|--|------------------------------------|

* Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.*

| | | |
|--|--|---------------------------------------|
| <p>HK BIG BEAR BLUFFS LLC JAMES P. HARVEY</p> <hr/> <p>PROPERTY OWNER NAME</p> |  <hr/> <p>PROPERTY OWNER SIGNATURE</p> | <p>MAY 16, 2022</p> <hr/> <p>DATE</p> |
|--|--|---------------------------------------|

STAFF USE ONLY

| | |
|---|------------------|
| DOCKET NO. | FEE PAID |
| RECEIPT NO. | REQUESTED AGENDA |
| DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS | |
| DATE OF PUBLIC NOTICES IN DAILY HERALD | |
| BOARD ACTION | |

CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0128

APPLICANT/OWNER

Greg Gamble/ Big Bear Bluffs LLC.

MEETING DATE

N/A

PROPERTY ADDRESS/LOCATION

**400 Bear Creek Pike/ Tax Map 90
Parcel 12.01 & 16.0**

PROJECT DESCRIPTION:

This request is for the new construction of a day care center to be located in a proposed mixed use planned unit development currently under review before the Planning Commission. The primary façade materials consist of brick with a stone base. Additional cladding materials of the gable consist of fiber lap siding and cedar shake siding.



| EXISTING ZONING | EXISTING LAND USE | SURROUNDING ZONING & LAND USE | SITE IMPROVEMENTS | Historic District |
|--|-------------------|-------------------------------|--------------------------------------|-------------------|
| RS-40/ R-10 (Proposed RM-1/R-6 Mixed-Use PUD) | Vacant Land | County Zoning/ Vacant Land | New Construction (Day Care-Facility) | N/A |

Building Facade Design Standards Referenced:

Sec. 6.1 General 6.1.6 Building façade Design Standards

B. Standards

1. All facades shall be constructed of one or a combination of the following materials: concrete aggregate, stucco, brick, stone, glass or wood, faced concrete block.
2. No portion of building constructed of unadorned (un-faced) concrete masonry units or corrugated and/or sheet metal shall be used.
3. Monolithic buildings are prohibited and no single façade extending unbroken more than approximately 35 feet in a horizontal plane may be visible from a public roadway. Compliance may be obtained through the following:
 - a. The use of projections or recesses (articulation).
 - b. The use of architectural detail to provide visual interest including but not limited to: columns, large windows, entry ways, beams, poles, or glass.

C. Alternative Compliance

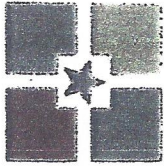
Alternative Compliance may be obtained using the Design Review process. In such cases, the Architectural Design Review Team shall have the authority to approve the following:

1. Materials of construction not listed, provided the materials used are implemented in a manner that enhances the surrounding area and complies with the intent of the code.

PLANNING STAFF EVALUATION:

- The front facade (west elevation) consists of a primary material of brick accented by a stone base and fiber cement board clad gables. These materials meet the design standards as referenced with no unbroken façade plane less than 35’.
- The east elevation consists of a primary material of brick accented by a stone base. These materials meet the design standards as referenced with no unbroken façade plane less than 35’
- The south and north elevation consist of a primary façade material of brick accented by a stone base. These materials meet the design standards as referenced with no unbroken façade plane less than 35’. As noted, the mechanical units on the north elevation is proposed to be screened by prefinished metal louvers.





CITY OF
COLUMBIA
TENNESSEE

DEVELOPMENT SERVICES
700 NORTH GARDEN STREET
COLUMBIA, TN 38401
PHONE: (931) 560-1560
FAX: (931) 560-1541

ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION
DEADLINE: 3RD MONDAY OF THE MONTH AT 4:00 PM

| | | | |
|---------------------------------------|---|----------|----------------|
| ADDRESS/LOCATION | 1002 Carmack Blvd. Columbia, TN 38401 | | |
| | TAX MAP: 099H | GROUP: H | PARCEL: 012.00 |
| SUMMARY OF NATURE OF REQUEST AND WORK | Change of use Day care to Tire Shop. Only Front Elevation changes to add Garage door. | | |

| | | |
|---|--|---|
| REQUEST DATE FOR PRE-APPLICATION CONFERENCE | | <i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i> |
|---|--|---|

SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½"x11"

| SELECT REQUEST | PLAN SHALL INCLUDE |
|---|---|
| <input checked="" type="checkbox"/> Façade Approval <input type="checkbox"/> Large-scale Commercial Approval <input type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____ | <ul style="list-style-type: none"> • Site Plan ✓ • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) ✓ • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels. |

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

APPLICANT

| | | | |
|---------|---|-------|-----------------------------|
| NAME | Chet Rhodes | PHONE | (615)-480-7535 |
| ADDRESS | 807 Nashville Hwy. ste. 1 Columbia, TN 38401 | EMAIL | RHODESENGINEERING@GMAIL.COM |

PROPERTY OWNER

| | | | |
|---------|-------------------------|-------|-----------------------------|
| NAME | Gholamreza Ebrahimzadeh | PHONE | (615)-484-2846 |
| ADDRESS | 1002 Carmack Blvd | EMAIL | REZAEBRAHIMZADEH3@YAHOO.COM |

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

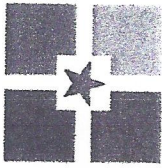
Chet Rhodes Chet Rhodes 5/16/2022
 APPLICANT NAME APPLICANT SIGNATURE DATE

* Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.*

Gholamreza Ebrahimzadeh [Signature] 5/16/2022
 PROPERTY OWNER NAME PROPERTY OWNER SIGNATURE DATE

STAFF USE ONLY

| | | | |
|---|--|------------------|--|
| DOCKET NO. | | FEE PAID | |
| RECEIPT NO. | | REQUESTED AGENDA | |
| DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS | | | |
| DATE OF PUBLIC NOTICES IN DAILY HERALD | | | |
| BOARD ACTION | | | |



Deadlines and Meeting Schedule
2022 Columbia ART, BZA, and HZC

| Submittal | ART | BZA | HZC |
|------------------------|---------------------------|-------------------------------|--------------------------------|
| 1/18/22* | 2/8/22 | 2/10/22 | 2/10/22 |
| 2/14/22 | 3/8/22 | 3/10/22 | 3/10/22 |
| 3/21/22 | 4/12/22 | 4/14/22 | 4/14/22 |
| 4/18/22 | 5/10/22 | 5/12/22 | 5/12/22 |
| 5/16/22 | 6/7/22 | 6/9/22 | 6/9/22 |
| 6/21/22* | 7/12/22 | 7/14/22 | 7/14/22 |
| 7/18/22 | 8/9/22 | 8/11/22 | 8/11/22 |
| 8/22/22 | 9/13/22 | 9/15/22 | 9/15/22 |
| 9/19/22 | 10/11/22 | 10/13/22 | 10/13/22 |
| 10/17/22 | 11/8/22 | 11/10/22 | 11/10/22 |
| 11/21/22 | 12/13/22 | 12/15/22 | 12/15/22 |
| 12/19/22 | 1/10/23 | 1/12/23 | 1/12/23 |
| Mon 4:00 Front Desk | Tues 9:00 Conference A | Thurs 9:00 Council Chamber | Thurs 4:00 Council Chambers |

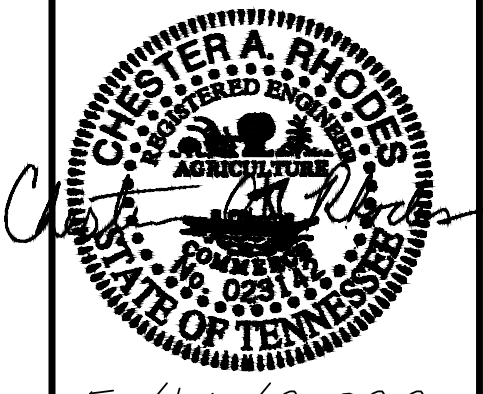
*Dates moved due to scheduling conflict

Basement
& Conference
Room
@ 9:00

All meetings are held at City Hall, 700 North Garden Street

Anyone requesting accommodations due to disabilities should contact
Connie Etzkin at 931-560-1570 prior to the meeting

GHOLAMREZA
EBRAHIMZADEH
1002 CARMACK BOULEVARD
COLUMBIA, TN 38401
Ph # 615-484-2846
Ph # 615-473-7566
EMAIL: AFARZANEH93@GMAIL.COM
REZAEBRAHIMZADEH3@YAHOO.COM



5/16/2022

ENGINEER:
RE
RHODES ENGINEERING
AND ENVIRONMENTAL
SERVICES, LLC
PHONE: 615.480.7535
EMAIL: RhodesEngineering@gmail.com
1117 WHITNEY DRIVE
COLUMBIA, TN 38401
Civil, Environmental,
Site Development, Water/Wastewater

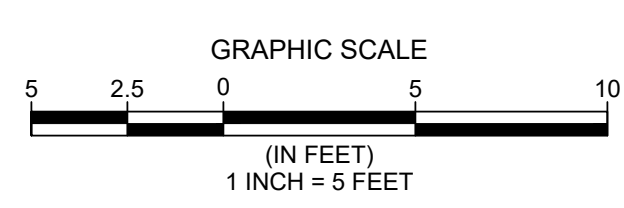
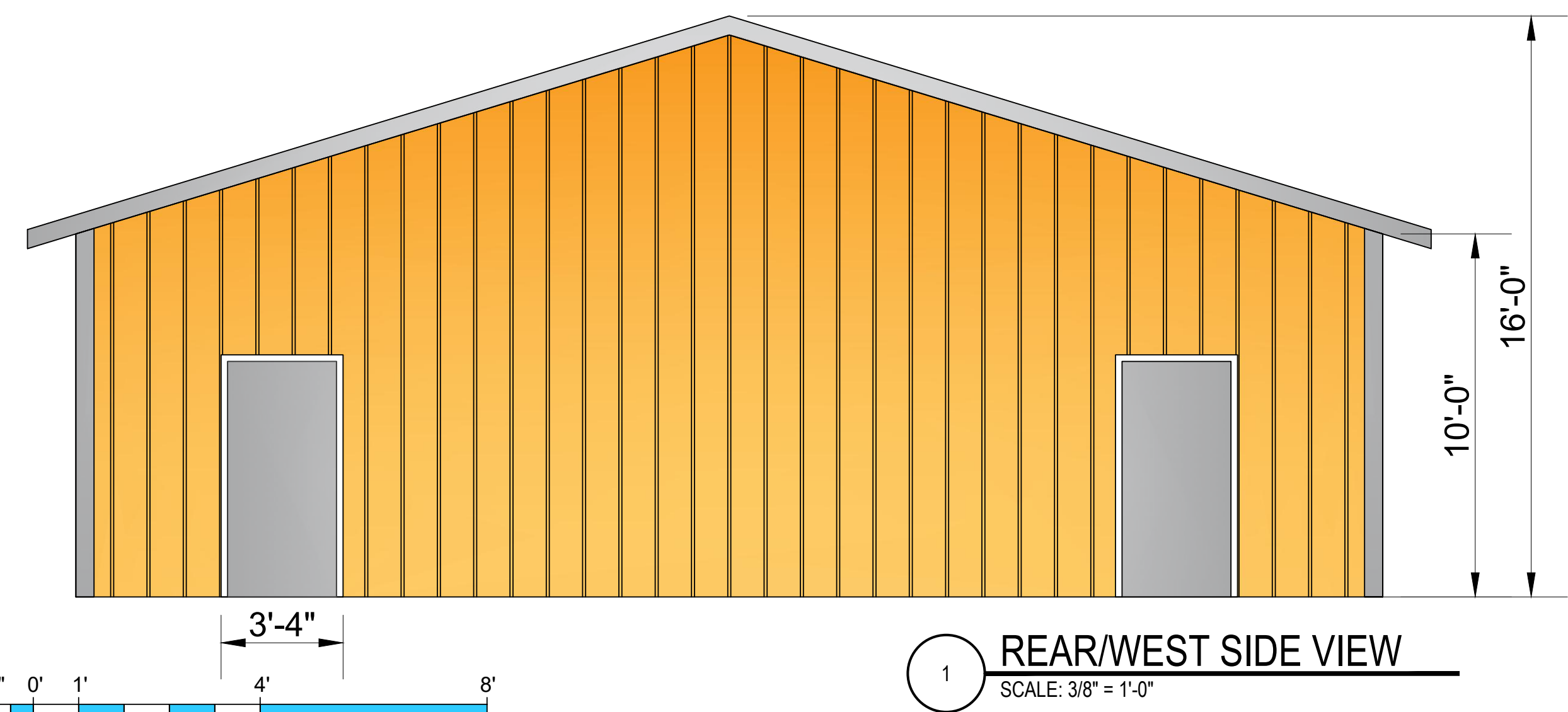
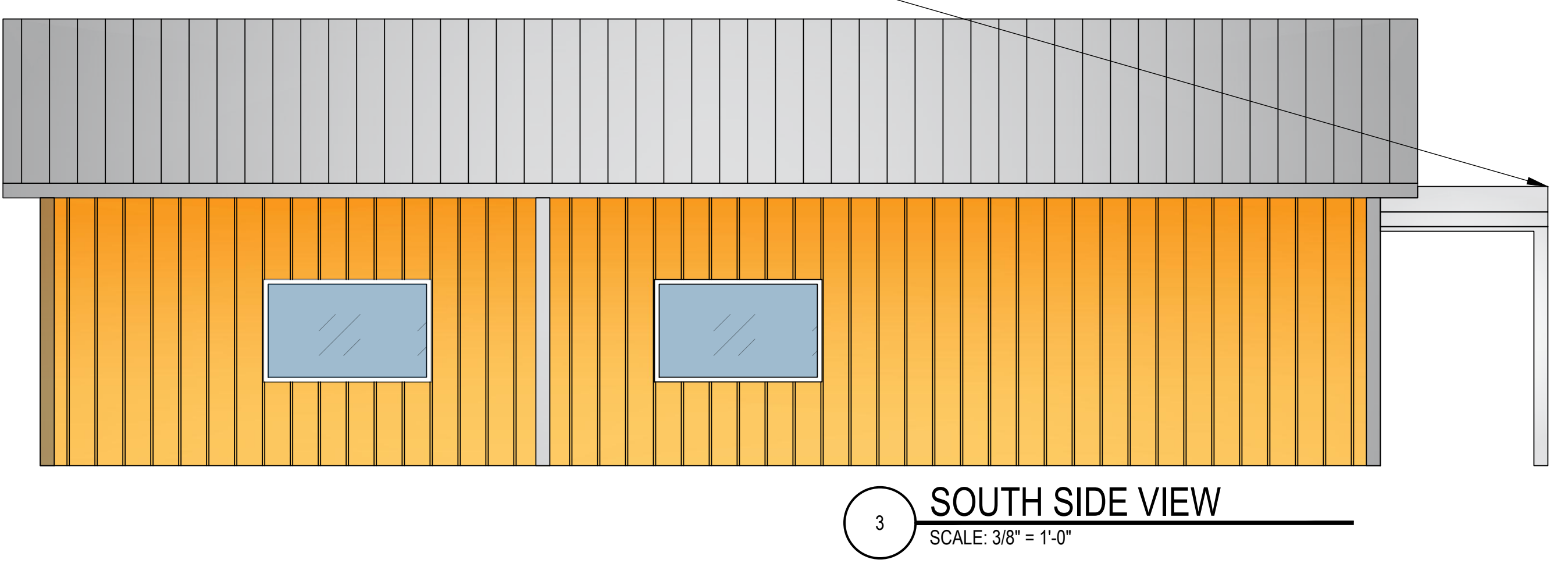
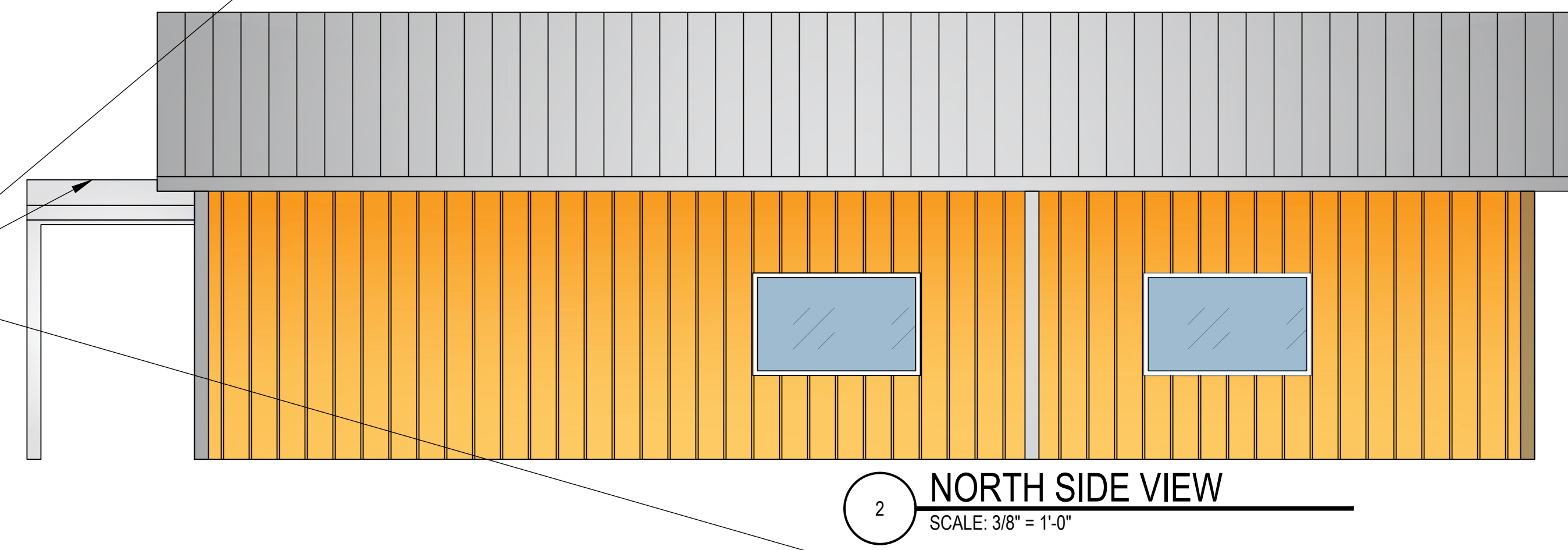
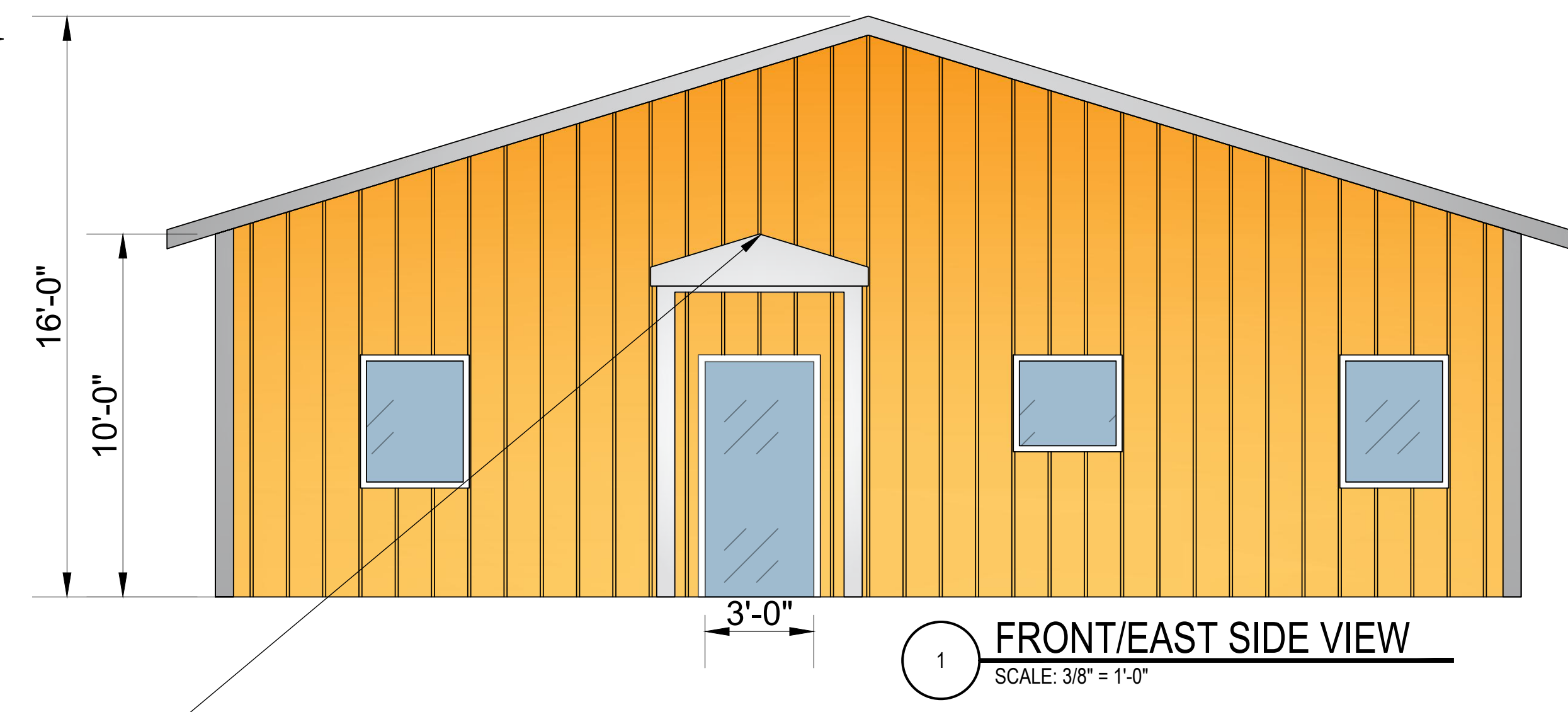
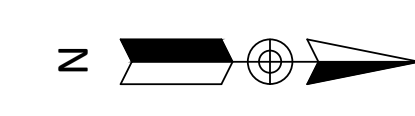
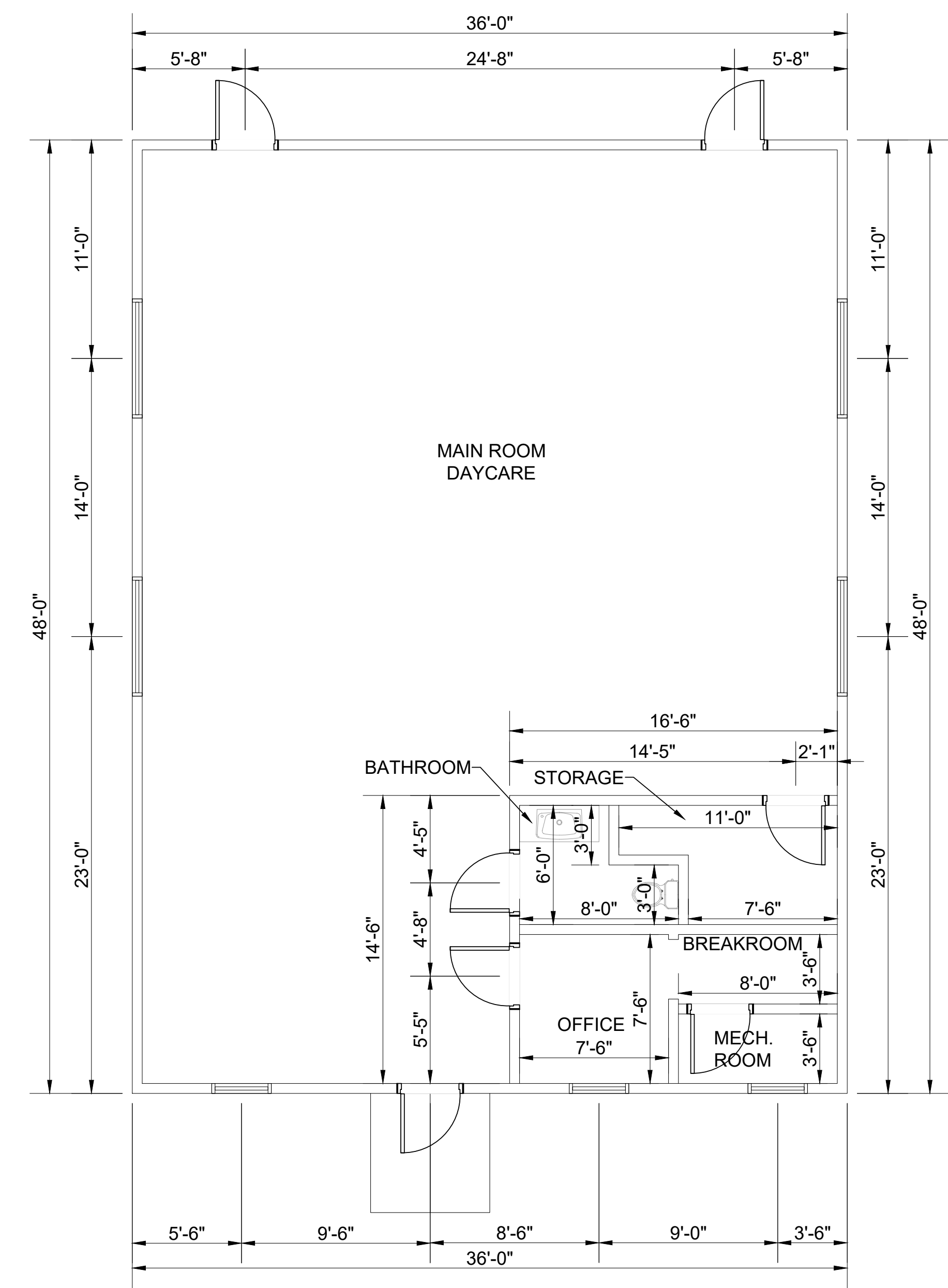
Copyright © 2022
By Rhodes Engineering & Environmental Services, LLC.
All rights reserved. This design and these plans or any part thereof
shall not be reproduced in any form without the written permission of
Rhodes Engineering & Environmental Services, LLC.

| REV. | DATE | BY | CHKD | DESIGN | APPD |
|------|------|----|------|--------|------|
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |
| | | | | | |

| APPROVAL | |
|-------------|-----------------------------|
| DRAWN | |
| DESIGN | |
| CHECKED | |
| APPROVED | |
| SAVED DATE: | 5/16/2022 12:22:30 PM Jacks |

GHOLAMREZA EBRAHIMZADEH
 TOP TIRE SHOP
 1002 CARMACK BOULEVARD, COLUMBIA,
 TN 38401
 EXISTING CONDITIONS

DWG. No.
A-1.0
SCALE: NOTED
CADFILE: \\C:\GARDEN\GARDEN\A-1.0.dwg
JOB No. REV.



- NOTES:
- EXISTING 22 GAUGE STEEL SIDING TO REMAIN.
 - EXISTING 22 GAUGE STEEL ROOF TO REMAIN.



EXISTING CONDITIONS

SCALE:

CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0137

APPLICANT/OWNER

Rhodes Engineering/ Gholamreza Ebrahimzadeh

MEETING DATE

N/A

PROPERTY ADDRESS/LOCATION

1002 Carmack Blvd

PROJECT DESCRIPTION:

This request is for the addition of a garage door opening on the front elevation of 1002 S Carmack Blvd.



| EXISTING ZONING | EXISTING LAND USE | SURROUNDING ZONING & LAND USE | SITE IMPROVEMENTS | Historic District |
|-----------------------------------|-------------------|-------------------------------|---------------------|-------------------|
| GCS (General Commercial Services) | Former Day Care | GCS & Gas Sales & Auto Repair | Façade Modification | N/A |

Building Façade Design Standards Referenced:

Sec. 6.1 General 6.1.6 Building façade Design Standards

B. Standards

1. All façades shall be constructed of one or a combination of the following materials: concrete aggregate, stucco, brick, stone, glass or wood, faced concrete block.
2. No portion of building constructed of unadorned (un-faced) concrete masonry units or corrugated and/or sheet metal shall be used.
3. Monolithic buildings are prohibited and no single façade extending unbroken more than approximately 35 feet in a horizontal plane may be visible from a public roadway. Compliance may be obtained through the following:
 - a. The use of projections or recesses (articulation).
 - b. The use of architectural detail to provide visual interest including but not limited to: columns, large windows, entry ways, beams, poles, or glass.

C. Alternative Compliance

Alternative Compliance may be obtained using the Design Review process. In such cases, the Architectural Design Review Team shall have the authority to approve the following:

1. Materials of construction not listed, provided the materials used are implemented in a manner that enhances the surrounding area and complies with the intent of the code.

PLANNING STAFF EVALUATION:

This request is for a minor façade modification for the removal of an existing window area for the placement of a 10 X 9 garage door opening that will serve a proposed new use of a tire shop.





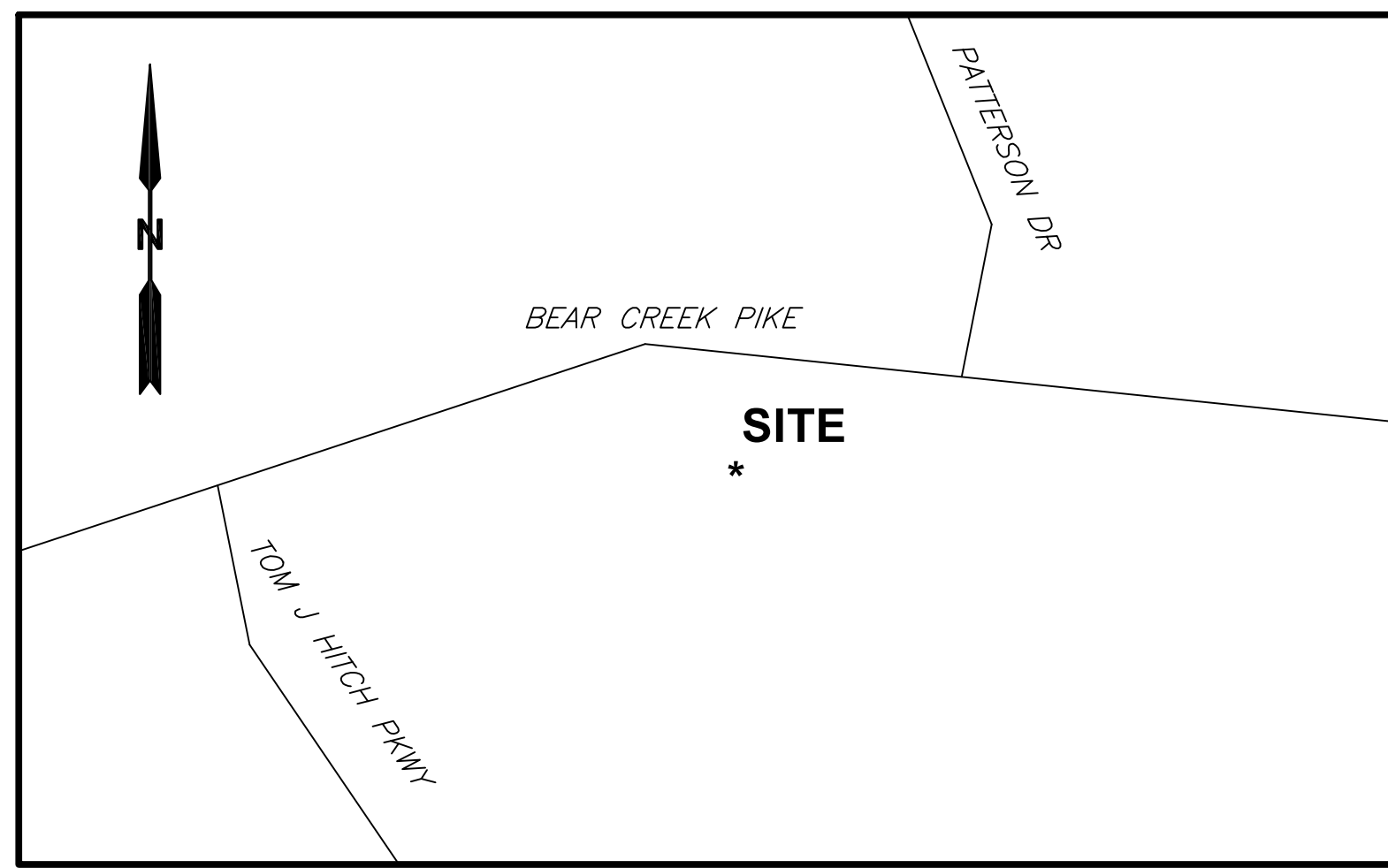




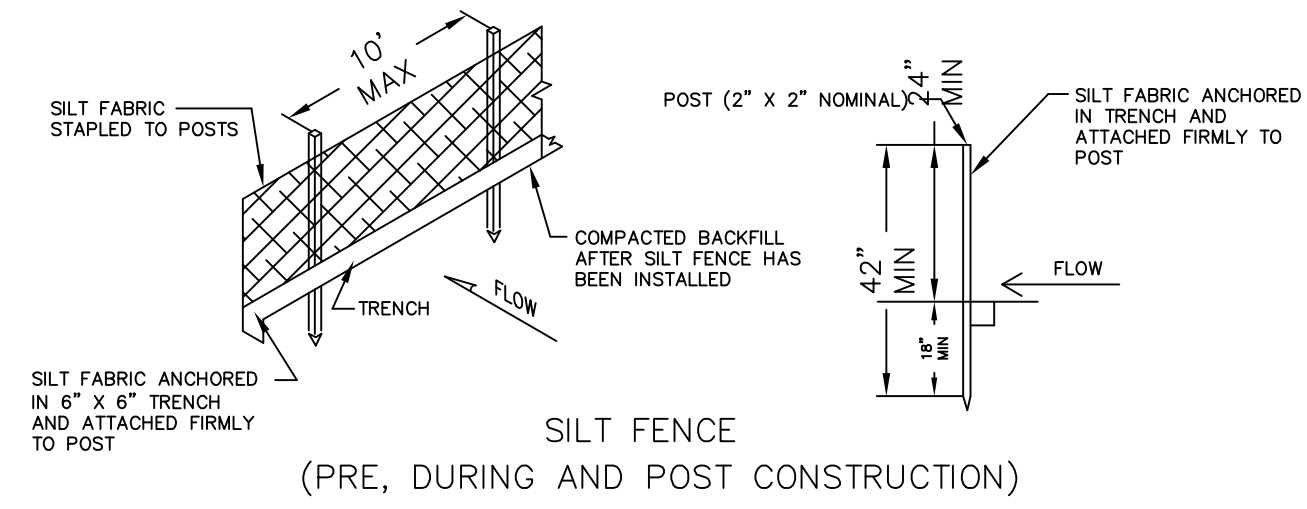




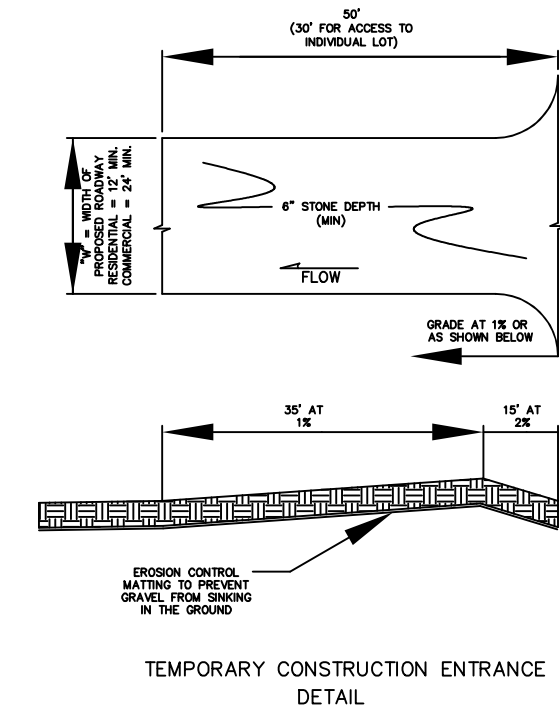




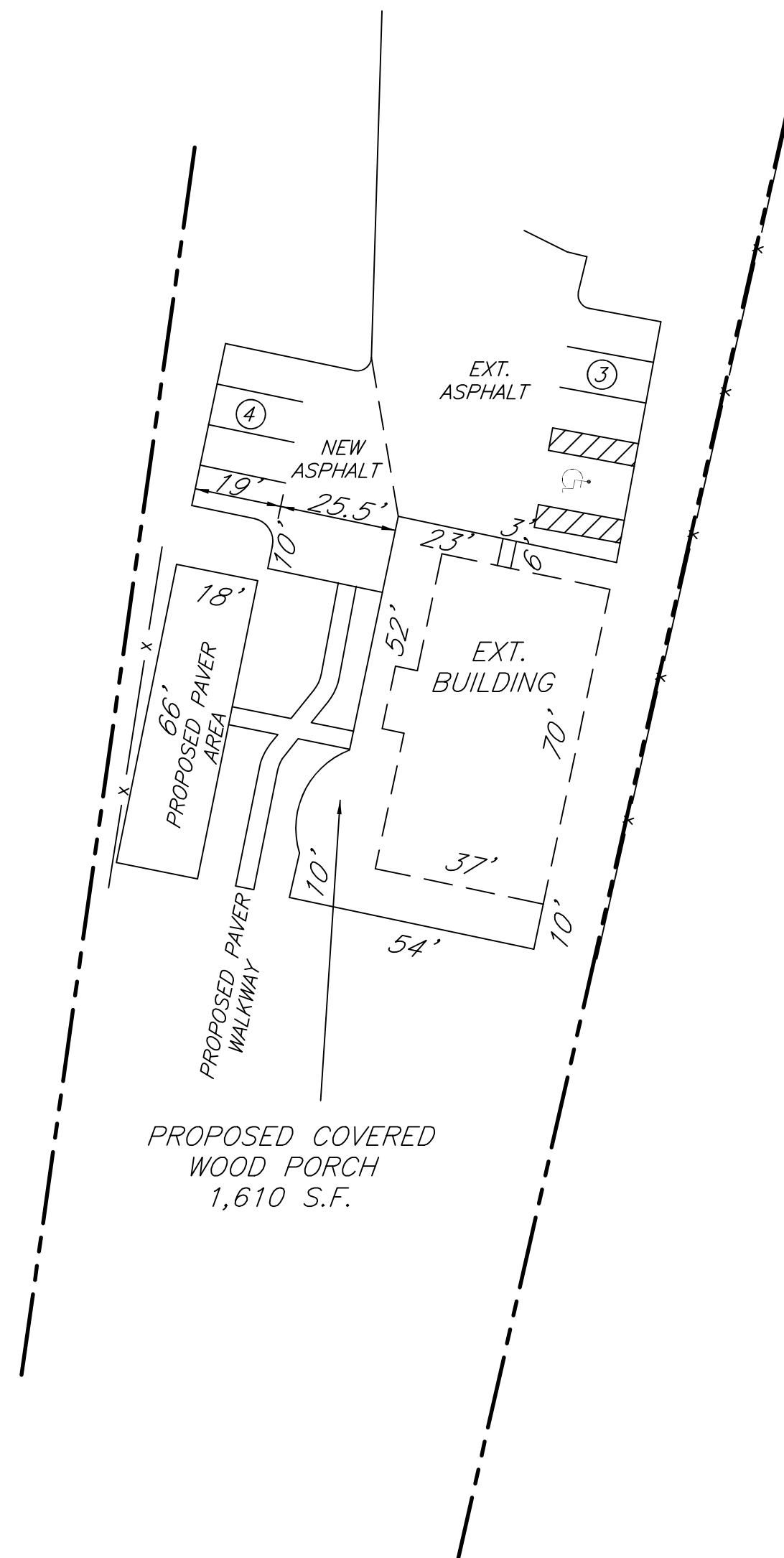
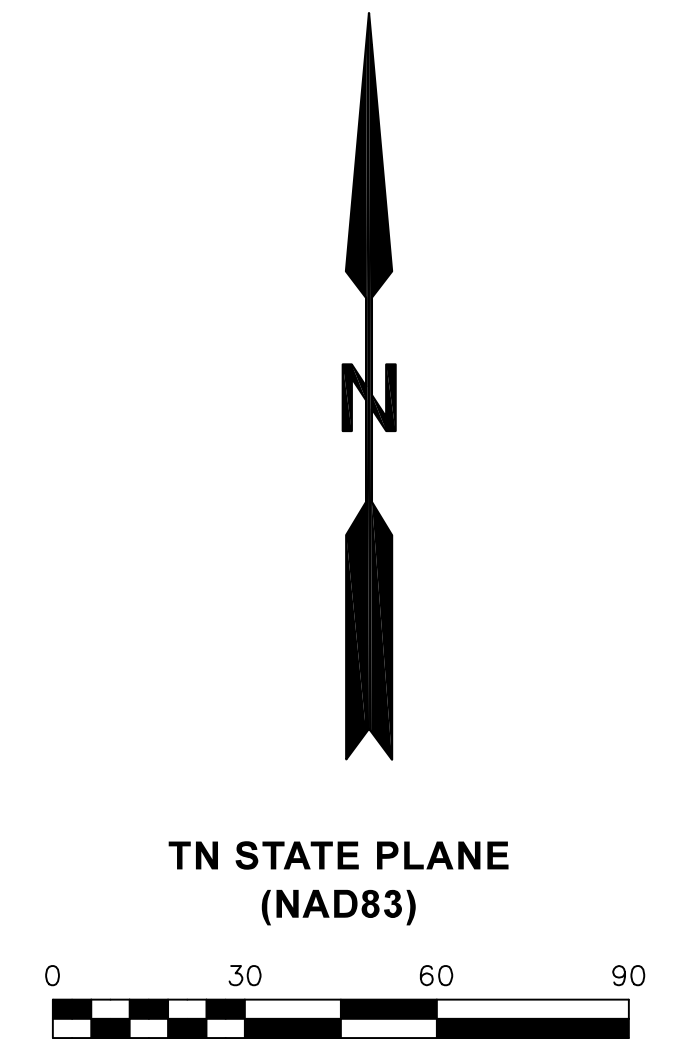
VICINITY MAP
NTS



SILT FENCE
(PRE, DURING AND POST CONSTRUCTION)

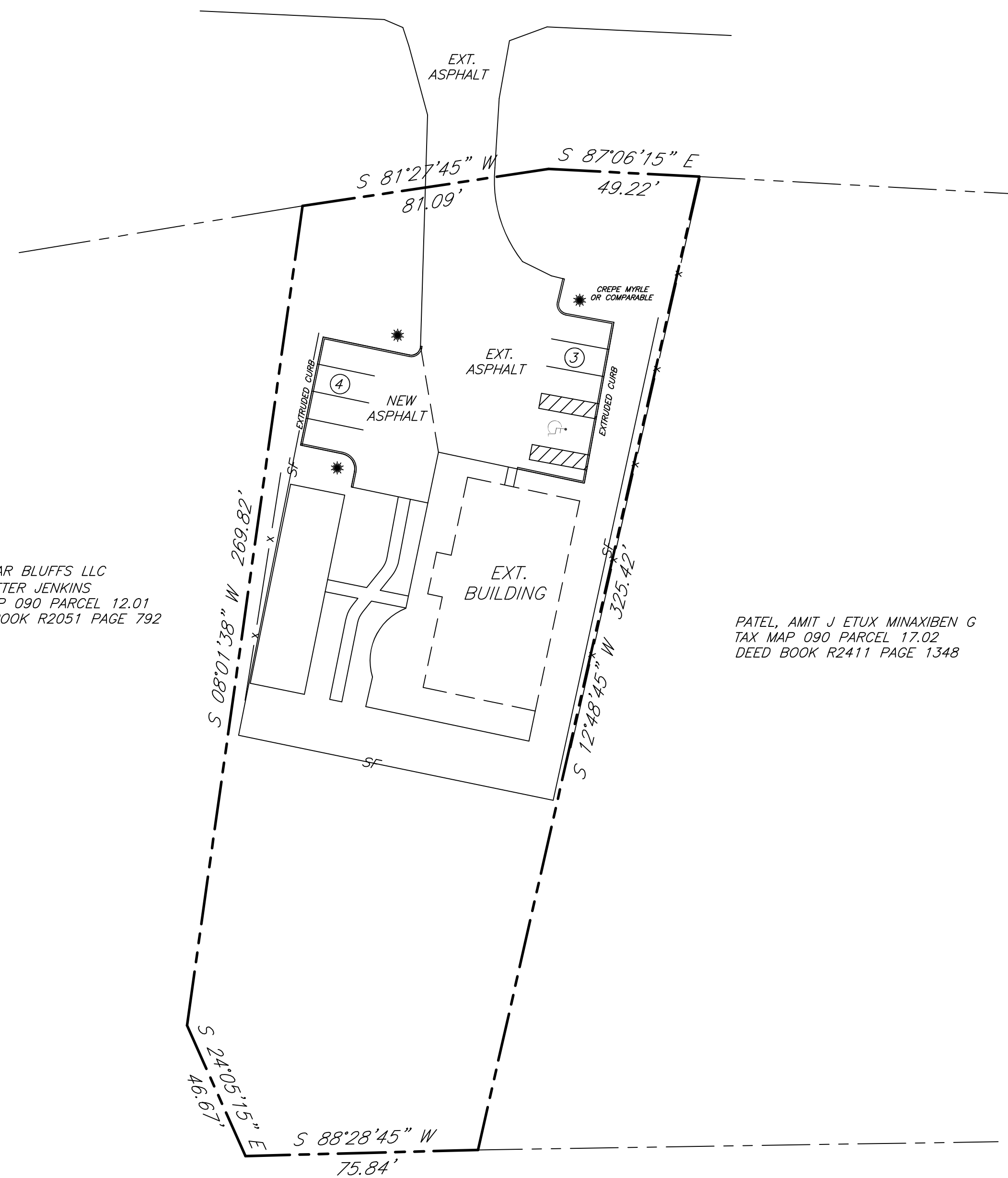


TEMPORARY CONSTRUCTION ENTRANCE
DETAIL



④ NUMBER OF SPACES
9' X 19'
7 SPACES TOTAL

NUMBER OF HANDICAP SPACES
12' X 19'
1 SPACES TOTAL



BIG BEAR BLUFFS LLC
C/O PETER JENKINS
TAX MAP 090 PARCEL 12.01
DEED BOOK R2051 PAGE 792

PATEL, AMIT J ETUX MINAXIBEN G
TAX MAP 090 PARCEL 17.02
DEED BOOK R2411 PAGE 1348

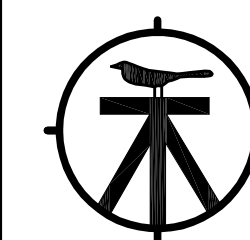
BIG BEAR BLUFFS LLC
C/O PETER JENKINS
TAX MAP 090 PARCEL 12.01
DEED BOOK R2051 PAGE 792

SITE PLAN OF THE

**ROCK N ROLL JESUS, LLC
PROPERTY**

376 BEAR CREEK PIKE

4TH CIVIL DISTRICT TA MAP 090 PARCEL 17.01
DEED BOOK R2727 PAGE 1242
COLUMBIA, MAURY COUNTY, TENNESSEE



CROW LAND SURVEYING

210 OLD HICKORY BLVD, UNIT #17
NASHVILLE, TN 37221
C - (615) 948-9021 PH - (615) 448-7760
crowlandsurvey@gmail.com

REVISED 4-11-22



Know what's below.
Call before you dig.

CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0139

APPLICANT/OWNER

Cindy Lou Peowski/ Rock N Roll Jesus LLC

MEETING DATE

N/A

PROPERTY ADDRESS/LOCATION

376 Bear Creek Pike

PROJECT DESCRIPTION:

This request is for the addition of a covered porch with wood posts located at the front, rear, and side elevation of an existing building.

A previous request was approved for ART case 21-0264 to allow for a pergola structure.



| EXISTING ZONING | EXISTING LAND USE | SURROUNDING ZONING & LAND USE | SITE IMPROVEMENTS | Historic District |
|-----------------|-------------------|-------------------------------|------------------------|-------------------|
| GCS | Commercial | GCS/ Residential | Covered Porch Addition | N/A |

Building Facade Design Standards Referenced:

Sec. 6.1 General 6.1.6 Building façade Design Standards

B. Standards

1. All facades shall be constructed of one or a combination of the following materials: concrete aggregate, stucco, brick, stone, glass or wood, faced concrete block.
2. No portion of building constructed of unadorned (un-faced) concrete masonry units or corrugated and/or sheet metal shall be used.
3. Monolithic buildings are prohibited and no single façade extending unbroken more than approximately 35 feet in a horizontal plane may be visible from a public roadway. Compliance may be obtained through the following:
 - a. The use of projections or recesses (articulation).
 - b. The use of architectural detail to provide visual interest including but not limited to: columns, large windows, entry ways, beams, poles, or glass.

C. Alternative Compliance

Alternative Compliance may be obtained using the Design Review process. In such cases, the Architectural Design Review Team shall have the authority to approve the following:

1. Materials of construction not listed, provided the materials used are implemented in a manner that enhances the surrounding area and complies with the intent of the code.

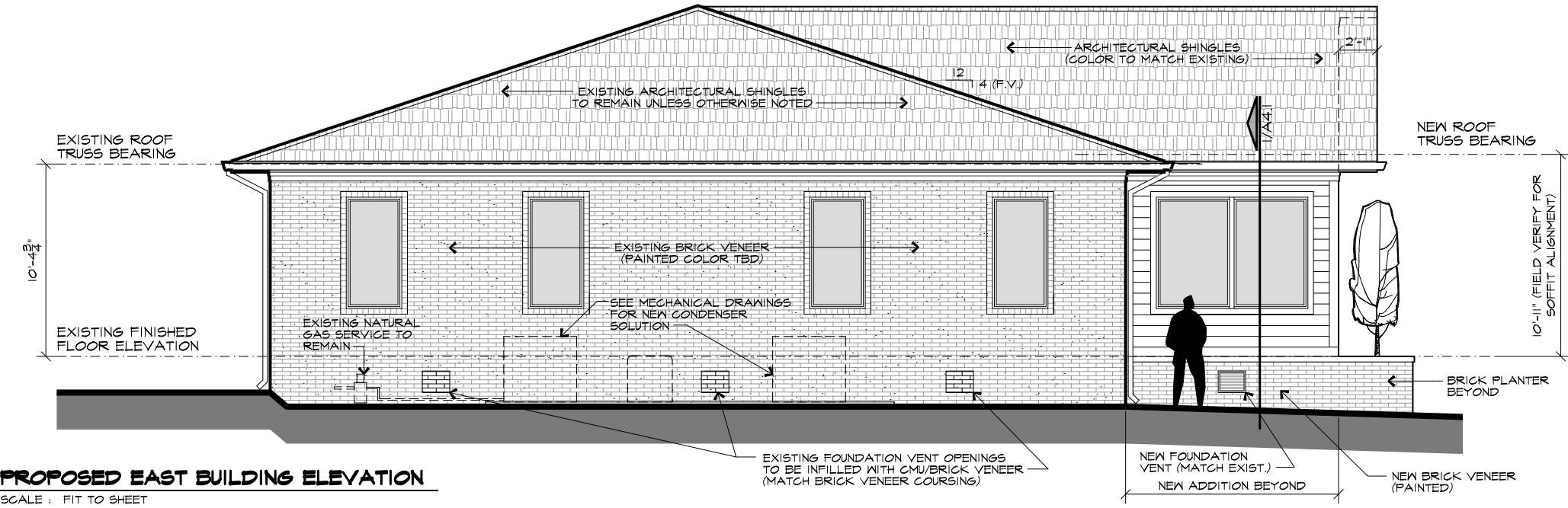
PLANNING STAFF EVALUATION:

The proposal is for an attached porch addition located on the front, rear, and side elevation of 376 Bear Creek Pike. The proposed gable of the porch will be cladded in a board and batten fiber cement board including the primary gable and left and rear elevation. This material would be an approved guideline material.

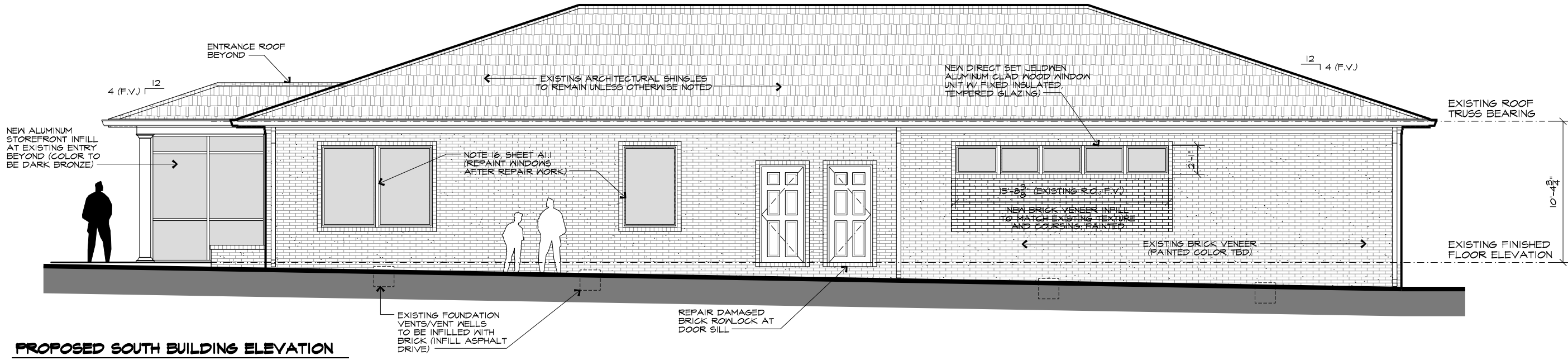
Proposed Facility Renovation for Hutton Family Dentistry

1706 Wedgewood Drive
Columbia, Tennessee

Nuber Architecture
ECCLESIASTICAL PLANNING / DESIGN
COMMERCIAL ARCHITECTURE
1069 Rolling Fields Circle, Columbia, Tennessee 38401
Phone: (931) 540-8045 Mobile: (931) 446-1741
E-mail: gnuber@nuberarchitecture.com



PROPOSED EAST BUILDING ELEVATION
SCALE: FIT TO SHEET



PROPOSED SOUTH BUILDING ELEVATION

Proposed Facility Renovation for Hutton Family Dentistry

1706 Wedgewood Drive
Columbia, Tennessee



GENERAL NOTES

1. BASE SURVEY INFORMATION WAS TAKEN FROM DATA PROVIDED BY ESSENTIAL LAND SURVEYING AND MAPPING DATED 09-09-2021. ALL REFERENCES REQUIRING ACCURACY SHOULD BE DIRECTED TO THE ORIGINAL SURVEY DATA. THIS DRAWING IS BELIEVED TO CONTAIN ACCURATE BASE INFORMATION, BUT VERIFICATION AGAINST SURVEY DATA IS STRONGLY RECOMMENDED.

PARKING TOTALS

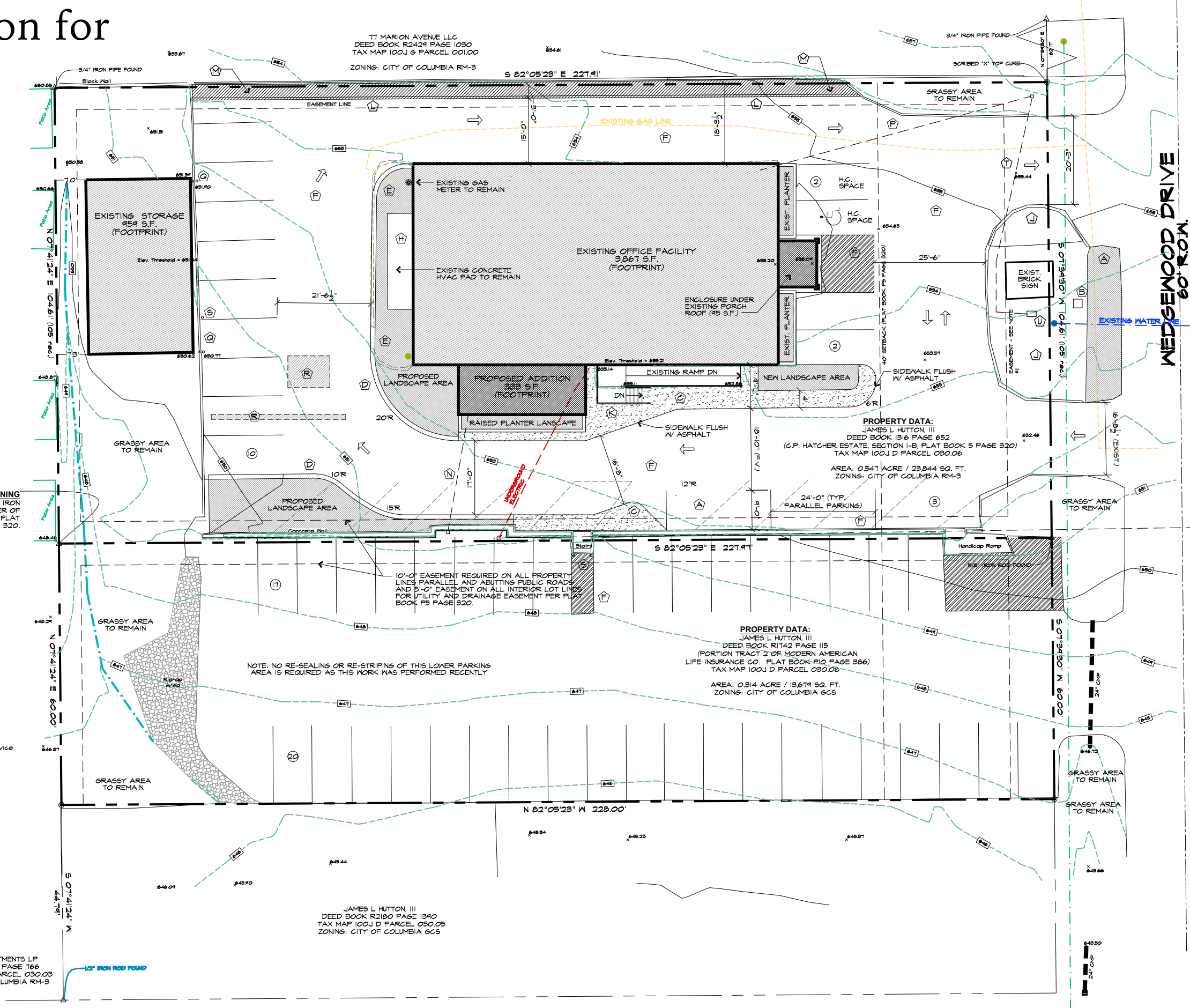
| | |
|--|---------------------|
| EXISTING/PROPOSED REGULAR PARKING SPACES | 52 |
| PROPOSED ACCESSIBLE PARKING SPACES | 2 |
| EXISTING/PROPOSED TOTAL (Including accessible spaces) | 54 ← REVISED DESIGN |
| MINIMUM REQUIRED PARKING BASED ON 4,245 S.F. AT 100 S.F./SPACE | 43 |

KEYNOTE LEGEND

- (A) REMOVE PORTION OF EXISTING GRAVEL AND REPLACE WITH ASPHALT MEETING CITY OF COLUMBIA STANDARDS
- (B) NEW BRICK MAILBOX (DESIGN TBD). LOCATION SUBJECT TO CITY OF COLUMBIA APPROVAL
- (C) NEW CONCRETE SIDEWALK (PROVIDE 4" THICK ON #57 CLEAN CRUSHED STONE BASE WITH CONTROL JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 20'-0" O.C.)
- (D) NEW MACHINE FORMED CONCRETE CURB (MEET CITY OF COLUMBIA STANDARDS)
- (E) EXISTING CONCRETE CURB AND GRAVEL FILL TO BE REMOVED - LANDSCAPER WILL PROVIDE TOPSOIL, MULCH, AND PLANTINGS UNDER SEPARATE CONTRACT WITH THE OWNER
- (F) AT THE COMPLETION OF THE CONSTRUCTION RESEAL AND RE-STRIPE EXISTING PARKING LOT AND REVISED AREA AS DEPICTED
- (G) NEW SIDEWALK AND ROOF CONNECTOR FROM NEW EDUCATION ENTRANCE TO PROPOSED WORSHIP BUILDING
- (H) EXISTING UTILITY PAD/HVAC CONDENSER PAD

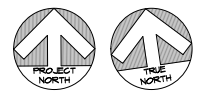
LEGEND (WHERE APPLICABLE)

- Existing Light Pole (NOTE 2)
- Existing power pole and guy wire
- ELECTRICAL
- 8" WATER LINE
- Existing Gas Service
- Existing Sewer Service
- Newly Graded Contour (If applicable)
- Existing/Proposed Contours
- Parking Count
- Painted Directional Arrows (Modern style) - SEE DETAILS



PROPOSED SITE LAYOUT PLAN

SCALE: 1"=10'-0"





ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION
DEADLINE: 3RD MONDAY OF THE MONTH AT 4:00 PM

| | | | |
|---------------------------------------|--|--------|---------|
| ADDRESS/LOCATION | See below for tax map, group, and parcel information | | |
| | TAX MAP: | GROUP: | PARCEL: |
| SUMMARY OF NATURE OF REQUEST AND WORK | City of Columbia architectural facade modification approval for dentist office. Facility location is on 1706 Wedgewood Street. | | |

| | | |
|---|---------------|---|
| REQUEST DATE FOR PRE-APPLICATION CONFERENCE | 5/18 (Advise) | <i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i> |
|---|---------------|---|

SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½"x11"

| SELECT REQUEST | PLAN SHALL INCLUDE |
|---|---|
| <input type="checkbox"/> Façade Approval <input type="checkbox"/> Large-scale Commercial Approval <input type="checkbox"/> Alternative Compliance Requested <input checked="" type="checkbox"/> Other: <u>Modification to existing facade approval as requested in attached documents</u> | <ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels. |

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

TAX MAP 100J, Parcel 030.06
DEED BOOK: 1316, Page 652

PARCEL ADDRESS: 1706 Wedgewood Drive
EXISTING ZONING: RM-3

APPLICANT

| | | | |
|---------|---|-------|------------------------------|
| NAME | George Nuber | PHONE | (931) 446-1741 |
| ADDRESS | 1069 Rolling Fields Circle Columbia, Tennessee 38401 | EMAIL | gnuber@nuberarchitecture.com |

PROPERTY OWNER

| | | | |
|---------|--|-------|-------------------|
| NAME | Dr. Sam Hutton | PHONE | (562) 441-3551 |
| ADDRESS | 311 W. 8th Street Columbia, Tennessee 38401 | EMAIL | sjhutt2@gmail.com |

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

| | | |
|----------------|--|------------|
| George Nuber |  | 05-16-2022 |
| APPLICANT NAME | APPLICANT SIGNATURE | DATE |

* Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.*

| | | |
|---|--|---------|
|  |  | 5/16/22 |
| PROPERTY OWNER NAME | PROPERTY OWNER SIGNATURE | DATE |

STAFF USE ONLY

| | | | |
|---|--|------------------|--|
| DOCKET NO. | | FEE PAID | |
| RECEIPT NO. | | REQUESTED AGENDA | |
| DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS | | | |
| DATE OF PUBLIC NOTICES IN DAILY HERALD | | | |
| BOARD ACTION | | | |

PARKING TOTALS

| | |
|--|----|
| EXISTING/PROPOSED REGULAR PARKING SPACES | 52 |
| PROPOSED ACCESSIBLE PARKING SPACES | 2 |
| EXISTING/PROPOSED TOTAL (including accessible spaces) | 54 |
| MINIMUM REQUIRED PARKING BASED ON 4,245 S.F. AT 100 S.F./SPACE | 43 |

LEGEND (WHERE APPLICABLE)

- Existing Light Pole (NOTE 2)
- Existing power pole and guy wire
- Existing Underground/Overhead Electrical Service
- Existing Water Service
- Existing Gas Service
- Existing Sewer Service
- Newly Graded Contour (if applicable)
- Existing/Proposed Contours
- Parking Count
- Painted Directional Arrows (Modern style) - SEE DETAILS

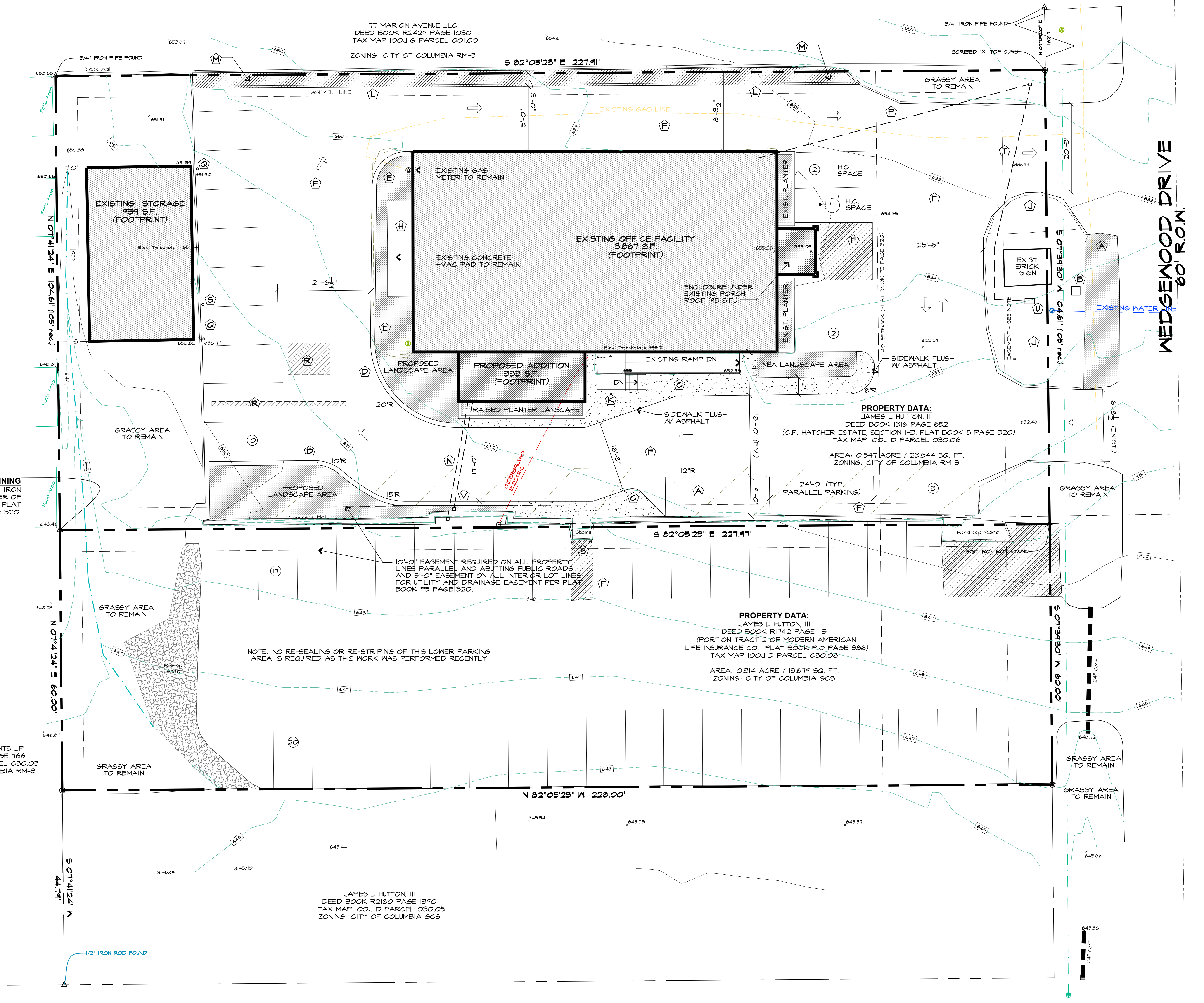
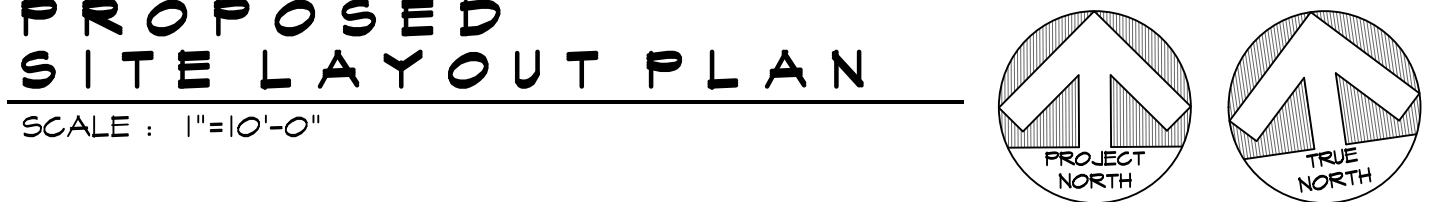
GENERAL NOTES

1. BASE SURVEY INFORMATION WAS TAKEN FROM DATA PROVIDED BY ESSENTIAL LAND SURVEYING AND MAPPING DATED 09-09-2021. ALL REFERENCES REQUIRING ACCURACY SHOULD BE DIRECTED TO THE ORIGINAL SURVEY DATA. THIS DRAWING IS BELIEVED TO CONTAIN ACCURATE BASE INFORMATION, BUT VERIFICATION AGAINST SURVEY DATA IS STRONGLY RECOMMENDED.

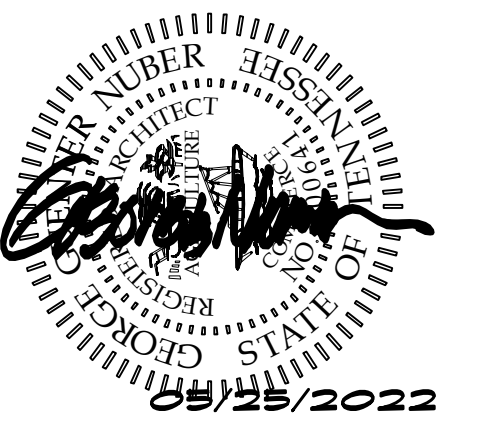
KEYNOTE LEGEND

- (A)** REMOVE PORTION OF EXISTING GRAVEL AND REPLACE WITH ASPHALT MEETING CITY OF COLUMBIA STANDARDS
- (B)** NEW BRICK MAILBOX (DESIGN TBD). LOCATION SUBJECT TO CITY OF COLUMBIA APPROVAL
- (C)** NEW CONCRETE SIDEWALK (PROVIDE 4" THICK ON #51 CLEAN CRUSHED STONE BASE WITH CONTROL JOINTS AT 5'-0" O.C. AND EXPANSION JOINTS AT 20'-0" O.C.)
- (D)** NEW MACHINE FORMED CONCRETE CURB (MEET CITY OF COLUMBIA STANDARDS)
- (E)** EXISTING CONCRETE CURB AND GRAVEL FILL TO BE REMOVED - LANDSCAPER WILL PROVIDE TOPSOIL, MULCH, AND PLANTINGS UNDER SEPARATE CONTRACT WITH THE OWNER
- (F)** AT THE COMPLETION OF THE CONSTRUCTION RESEAL AND RE-STRIPE EXISTING PARKING LOT AND REVISED AREA AS DEPICTED
- (G)** NOT USED
- (H)** EXISTING UTILITY PAD/HVAC CONDENSER PAD
- (I)** EXISTING LANDSCAPE AREA TO BE CLEANED OUT AND REGRABBED BY THE OWNER
- (K)** NEW CONCRETE STEPS AND HANDRAILS TO BE POUR AGAINST EXISTING CONCRETE RAMP AND HANDRAIL - (SEE FLOOR PLAN FOR ADDITIONAL INFORMATION)
- (L)** PROVIDE NEW CONCRETE EXTRUDED CURB MEETING CITY OF COLUMBIA STANDARDS AGAINST EDGE OF SAN CUT PAVEMENT (SEE KEYNOTE M FOR ADDITIONAL INFORMATION)
- (M)** IN THE AREA SHADED, EXCAVATE EXISTING ASPHALT LAYER AND GRAVEL BASE DOWN TO SOIL 36" FROM FACE OF EXISTING REGRAVEL STEEL CURB TO REMAIN. ASPHALT WILL NEED TO SAN CUT TO PREPARE FOR NEW CONCRETE EXTRUDED CURB (KEYNOTE L) TO FULLY REST ON REMAINING ASPHALT PAVING - FIELD COORDINATE WITH THE ARCHITECT AS REQUIRED
- (N)** PROVIDE UNDERGROUND ELECTRICAL CONDUIT FROM BUILDING TO MAIL BOX IN EXISTING CONCRETE RETAINING WALL (SEE ELECTRICAL FOR REQUIREMENTS) - FINAL LOCATION OF THE OUTLET BOX TO BE FIELD DETERMINED WITH THE ARCHITECT; SAN CUT EXISTING PAVEMENT AND REPAIR BACK WITH NEW NEW GRAVEL/ASPHALT AT COMPLETION OF WORK
- (P)** PROVIDE NEW UNDERGROUND ELECTRICAL SERVICE TO POST MOUNTED OUTLET BOX FOR SPRINKLER AND SECURITY CAMERA POWER (SEE ELECTRICAL FOR ADDITIONAL REQUIREMENTS) - FINAL LOCATION OF THE OUTLET BOX TO BE FIELD DETERMINED WITH THE ARCHITECT; SAN CUT EXISTING PAVEMENT AND REPAIR BACK WITH NEW GRAVEL/ASPHALT AT COMPLETION OF WORK
- (Q)** REPLACE EXISTING DAMAGED ALUMINUM DOWN SPOUT AND PROVIDE 4" PIPE BOLLARD, 42" HIGH, SET IN CONCRETE AS A PROTECTIVE MEASURE (FIELD COORDINATE BOLLARD LOCATION AND BOLLARD PAINT COLOR WITH THE ARCHITECT) - BOLLARD TO BE SET IN CONCRETE A MIN. OF 36" AND WILL BE CONCRETE FILLED
- (R)** THE CONTRACTOR SHALL OBSERVE THE FEW CRACKS IN THE ASPHALT IN THE AREA DESIGNATED AND PROVIDE A FILLER MATERIAL PRIOR TO RESEALING (CRACKS ARE 1/2" OR LESS IN WIDTH); FIELD COORDINATE APPLICATION WITH THE ARCHITECT.
- (S)** PROVIDE NEW 4" PIPE BOLLARD, 42" HIGH SET IN CONCRETE AS A PROTECTIVE MEASURE FOR STAIR RAIL AND/OR ELECTRICAL BOX - FIELD COORDINATE LOCATION WITH THE ARCHITECT
- (T)** PROVIDE NEW UNDERGROUND ELECTRICAL SERVICE TO NEW HOTBOX FOR EXTERIOR BACKFLOW PREVENTER. SEE ELECTRICAL FOR REQUIREMENTS
- (U)** NEW BACKFLOW PREVENTER IN HOT BOX. SEE PLUMBING FOR REQUIREMENTS. INSTALL PER COLUMBIA POWER AND WATER SYSTEM REQUIREMENTS
- (V)** THE CONTRACTOR IS TO PROVIDE A 3/4" PEX WATER LINE FROM THE BUILDING TO A BELOW GRADE VALVE BOX WITH AN ACCESSIBLE HOSE BIB. PROVIDE A SHUT-OFF VALVE IN THE BUILDING CRAWLSPACE FOR SERVICE. SEE PLUMBING DRAWINGS FOR WATER LINE TO MAKE TAP.

PROPOSED SITE LAYOUT PLAN
SCALE: 1"=10'-0"



This drawing, its design, detail and invention, are the property of Nuber Architecture L.L.C. and shall not be copied in any manner nor disclosed to any outside party without expressed written consent. Failure to comply with these terms may result in criminal prosecution.



Nuber Architecture
ECCLASTICAL PLANNING / DESIGN
COMMERCIAL ARCHITECTURE
1069 Rolling Fields Circle, Columbia, Tennessee 38401
Phone: (931) 548-8045 Fax: (931) 840-5751
E-mail: nuber@nuberarchitecture.com

**Proposed Facility Renovation for
Hutton Family Dentistry
1706 Wedgewood Drive
Columbia, Tennessee**

CI.1 Proposed Site Layout Plan

| | | | |
|---------|------------|-------------------------------|---------------------|
| Date: | 05-13-2022 | THIS DRAWING HAS BEEN ISSUED: | Revisions: |
| Job #: | | FOR REVIEW ONLY | 1 |
| Dr. By: | G. Nuber | FOR ESTIMATING/BIDDING ONLY | 2 |
| Ck. By: | G. Nuber | FOR CONSTRUCTION | 3 |
| File #: | 2021011111 | DATE: 05/13/2022 | ISSUED BY: G. Nuber |



ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION
DEADLINE: 3RD MONDAY OF THE MONTH AT 4:00 PM

| | | | |
|---------------------------------------|--|--------|---------|
| ADDRESS/LOCATION | See below for tax map, group, and parcel information | | |
| | TAX MAP: | GROUP: | PARCEL: |
| SUMMARY OF NATURE OF REQUEST AND WORK | City of Columbia architectural facade modification approval for dentist office. Facility location is on 1706 Wedgewood Street. | | |

| | | |
|---|---------------|---|
| REQUEST DATE FOR PRE-APPLICATION CONFERENCE | 5/18 (Advise) | <i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i> |
|---|---------------|---|

SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½"x11"

| SELECT REQUEST | PLAN SHALL INCLUDE |
|--|---|
| <input type="checkbox"/> Façade Approval <input type="checkbox"/> Large-scale Commercial Approval <input type="checkbox"/> Alternative Compliance Requested <input checked="" type="checkbox"/> Other: Modification to existing facade approval as requested in attached documents | <ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels. |

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

TAX MAP 100J, Parcel 030.06
DEED BOOK: 1316, Page 652

DRNB

PARCEL ADDRESS: 1706 Wedgewood Street
EXISTING ZONING: RM-3

APPLICANT

| | | | |
|----------------|---|--------------|------------------------------|
| NAME | George Nuber | PHONE | (931) 446-1741 |
| ADDRESS | 1069 Rolling Fields Circle Columbia, Tennessee 38401 | EMAIL | gnuber@nuberarchitecture.com |

PROPERTY OWNER

| | | | |
|----------------|--|--------------|-------------------|
| NAME | Dr. Sam Hutton | PHONE | (562) 441-3551 |
| ADDRESS | 311 W. 8th Street Columbia, Tennessee 38401 | EMAIL | sjhutt2@gmail.com |

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

George Nuber



05-16-2022

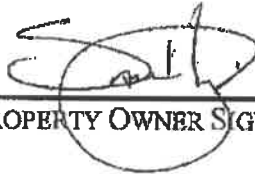
APPLICANT NAME

APPLICANT SIGNATURE

DATE

* Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.*

SAM HUTTON



5/16/22

PROPERTY OWNER NAME

PROPERTY OWNER SIGNATURE

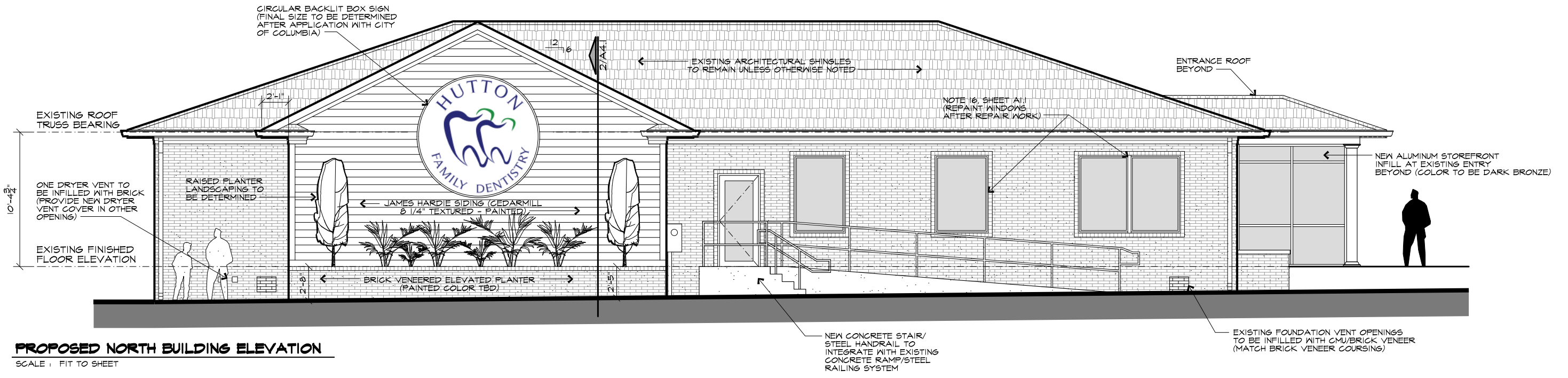
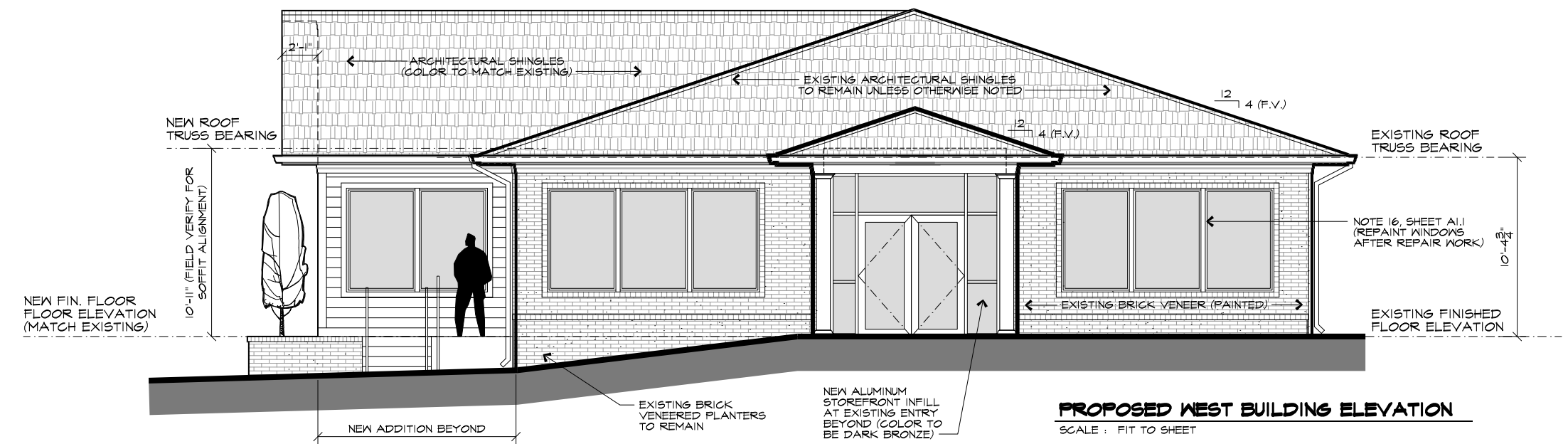
DATE

STAFF USE ONLY

| | | | |
|--|--|-------------------------|--|
| DOCKET NO. | | FEE PAID | |
| RECEIPT NO. | | REQUESTED AGENDA | |
| DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS | | | |
| DATE OF PUBLIC NOTICE IN DAILY HERALD | | | |
| BOARD ACTION | | | |

Proposed Facility Renovation for Hutton Family Dentistry

1706 Wedgewood Drive
Columbia, Tennessee



PROPOSED NORTH BUILDING ELEVATION
SCALE: FIT TO SHEET

CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0140

APPLICANT/OWNER

George Nuber/ Dr. Sam Hutton

MEETING DATE

N/A

PROPERTY ADDRESS/LOCATION

1706 Wedgewood Dr

PROJECT DESCRIPTION:

This is request is for a façade modification and 333 SF addition to an existing dentistry office located at 1706 Wedgewood Drive.

This addition will be visible from Hatcher Lane, a collector street.



| EXISTING ZONING | EXISTING LAND USE | SURROUNDING ZONING & LAND USE | SITE IMPROVEMENTS | Historic District |
|-----------------|-------------------|-------------------------------|---------------------|-------------------|
| RM-2 | Dentistry Office | RM-2/ GCS/ Multi-Family | Façade Modification | N/A |

Building Façade Design Standards Referenced:

Sec. 6.1 General 6.1.6 Building façade Design Standards

B. Standards

1. All façades shall be constructed of one or a combination of the following materials: concrete aggregate, stucco, brick, stone, glass or wood, faced concrete block.
2. No portion of building constructed of unadorned (un-faced) concrete masonry units or corrugated and/or sheet metal shall be used.
3. Monolithic buildings are prohibited and no single façade extending unbroken more than approximately 35 feet in a horizontal plane may be visible from a public roadway. Compliance may be obtained through the following:
 - a. The use of projections or recesses (articulation).
 - b. The use of architectural detail to provide visual interest including but not limited to: columns, large windows, entry ways, beams, poles, or glass.

C. Alternative Compliance

Alternative Compliance may be obtained using the Design Review process. In such cases, the Architectural Design Review Team shall have the authority to approve the following:

1. Materials of construction not listed, provided the materials used are implemented in a manner that enhances the surrounding area and complies with the intent of the code.

PLANNING STAFF EVALUATION:

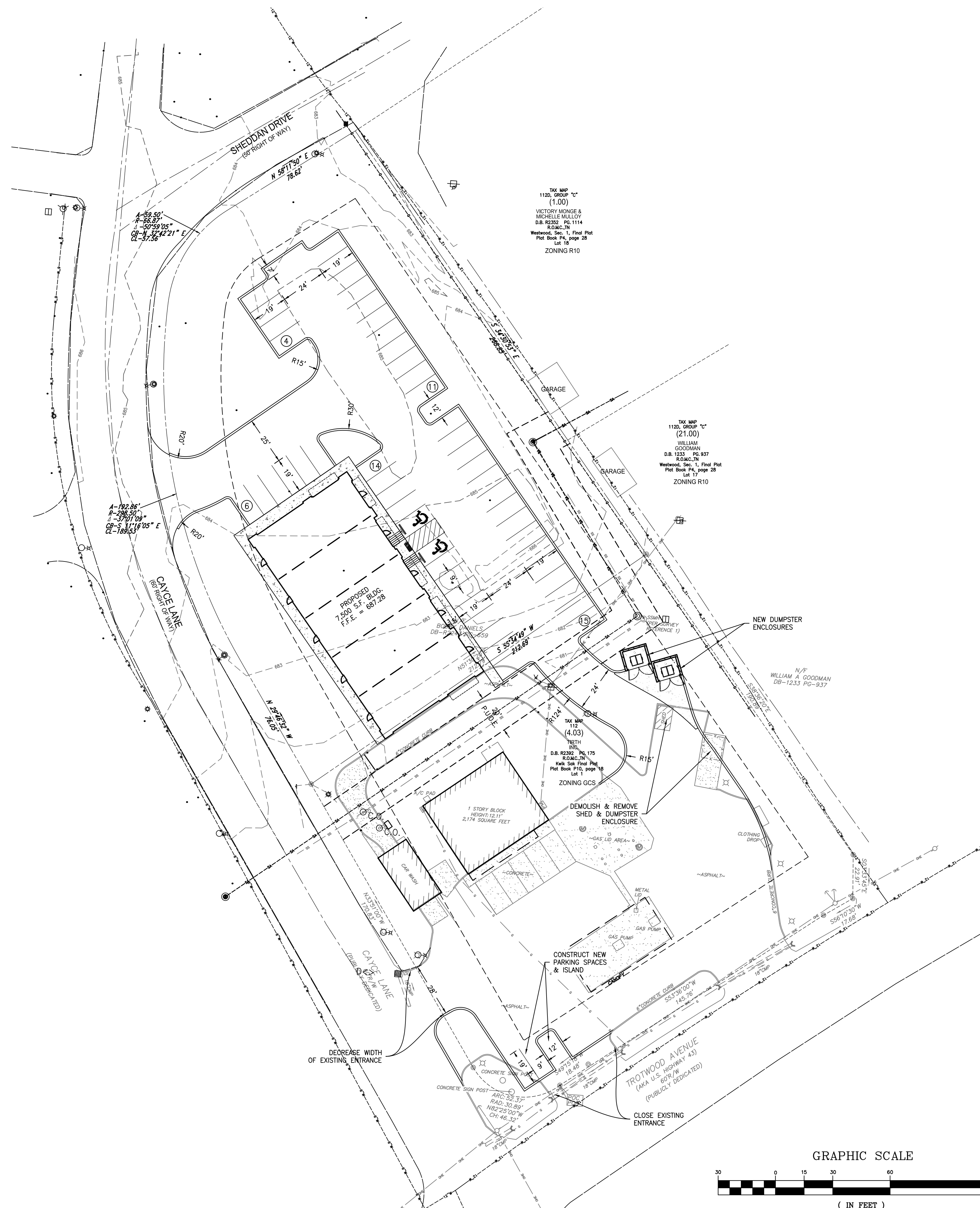
This request is for the façade modification of an existing pre-fabricated metal building. The modification consists of recladding of a corrugated metal façade with fiber cement board and additional window openings including a front tower addition.

- The proposed west (front) building elevation will consist of new aluminum storefront infill with existing brick veneer to remain. A new addition will consist of a primary façade material of fiber cement board with a continuation of a hipped roof and matching architectural shingles. As noted, fiber cement board is an appropriate material per the design standards referenced.
- The east and south elevations consist of existing brick with new aluminum wood clad window openings.



j. **clark** architecture
+ design

SITE LAYOUT & UTILITY PLAN



- GENERAL NOTES:**
- THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS, AND PAY ALL LEGAL FEES. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS.
 - THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 10 FT IN WIDTH ON FRONT AND REAR PROPERTY LINES AND ON ALL PROPERTY LINES PARALLEL TO OR ABUTTING ROADS, AND THERE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT, 5 FT IN WIDTH ON ALL OTHER INTERIOR LOT LINES, EXCEPT AS OTHERWISE SHOWN.
 - TEMPORARY INLET FILTERS SHALL BE INSTALLED IN ALL EXISTING CATCH BASINS IN AREA PRIOR TO EARTH DISRUPTION.
 - EXISTING UTILITIES AS SHOWN INDICATE THE APPROXIMATE LOCATION OF FACILITIES ONLY AND NO GUARANTEE IS GIVEN TO THE COMPLETENESS OR ACCURACY THEREOF. NO EXCAVATION MAY BE MADE WITHIN 5 FEET OF THESE UTILITIES UNLESS AND UNTIL SUCH UTILITIES HAVE BEEN POSITIVELY LOCATED AS TO HORIZONTAL AND VERTICAL POSITION. CONTRACTOR SHALL CONTACT "TENNESSEE ONE CALL" AT 1-800-351-1111 THREE WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 - ALL RADII ARE 3' UNLESS DIMENSIONED.
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES, GAS LINES, AND ANY UNDERGROUND ELECTRIC LINES DO NOT CONFLICT WITH SEWAGE LINES OR STORM SEWERS. INSTALL ALL UTILITIES PRIOR TO FINAL PAVEMENT CONSTRUCTION.
 - BACKFILL UTILITY TRENCHES UNDER PAVEMENT AREAS WITH GRUSHED STONE OR GRAVEL. BACKFILL UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL.
 - CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, BUILDINGS, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO SUCH PROPERTY.
 - THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED SERVICES, THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THESE UNDERGROUND CABLES AND/OR LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.
 - THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBstantiate OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL REPAIR ANY CONTRACTOR CAUSED DAMAGE, ACCORDING TO THE LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL ALSO COORDINATE ALL CONSTRUCTION TO MAINTAIN REQUIRED SERVICES TO THE EXISTING FACILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY(S).

- PAVING NOTES:**
- PROPOSED ASPHALT PAVEMENT CROSS-SECTION TO CONFORM TO CITY OF COLUMBIA STANDARDS. REFERENCE DETAIL PROVIDED.
 - ALL CURVE RADII = 3' (THREE FEET) UNLESS NOTED OTHERWISE.
 - SURFACES TO RECEIVE MARKING PAINT SHALL BE CLEAN, DRY AND METAL SURFACES ARE TO BE FREE FROM HEAVY RUST.
 - YELLOW CURBING AND BOLLARDS ARE TO RECEIVE 2 COATS SHERWIN WILLIAMS - KEM 4000 ACRYLIC ALKYD ENAMEL SAFETY YELLOW B55Y300. (TO BE WHITE IF REQUIRED BY ARCHITECTURAL REVIEW COMMITTEE)
 - 4" WIDE TRANSVERSE PAVEMENT MARKING TO RECEIVE TOP COAT SHERWIN WILLIAMS -PRO MAR TRAFFIC MARKING PAINT. YELLOW TMS495. (TO BE WHITE IF REQUIRED BY ARCHITECTURAL REVIEW COMMITTEE)
 - ACCESSIBLE SPACES TO RECEIVE TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE.

- STORMWATER NOTES:**
- ROOF DRAINAGE TO SHEET FLOW ACROSS PAVEMENT AT THE REAR OF THE BUILDING INTO THE PROPOSED DRAINAGE SYSTEM.
 - SUBJECT PROPERTY IS NOT IN A FLOODPLAIN AS PER F.L.R.M. F.E.M.A. COMMUNITY PLAN # 47119C0170E, DATED APRIL 16, 2007.

- WATERMAIN NOTES:**
- REFER TO COLUMBIA POWER & WATER SYSTEM DESIGN PLANS FOR WATER DESIGN AND SERVICE LOCATIONS.
 - ALL PROPOSED WATER MAINS AND SERVICES TO BE INSTALLED PER THE STANDARD SPECIFICATIONS OF COLUMBIA POWER & WATER SERVICE.
 - SERVICES, INCLUDING LONG TAPS AND SHORT TAPS, ARE TO BE INSTALLED TO THE PROPERTY LINE. MAINTAIN A 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN THE WATER SERVICE LINES AND OTHER UTILITIES WHERE FEASIBLE.

- SANITARY SEWER LEAD NOTES:**
- MAINTAIN A MINIMUM OF 18" VERTICAL CLEARANCE, AND 10' HORIZONTAL CLEARANCE BETWEEN ALL UTILITIES.
 - ALL MATERIALS AND WORKMANSHIP FOR SANITARY SEWER LEADS SHALL BE IN STRICT COMPLIANCE WITH CURRENT CITY OF COLUMBIA WWTP STANDARDS.
 - SEWER SERVICE LEADS ARE TO BE EXTENDED TO A POINT 5' FT. OUTSIDE THE BUILDING WHERE THE PLUMBING CONTRACTOR WILL COMPLETE THE CONNECTION TO THE BUILDING PLUMBING SYSTEM.
 - ALL SANITARY SEWER LEADS WITHIN A 1:1 INFLUENCE OF EXISTING PROPOSED, OR FUTURE PAVEMENT SHALL HAVE COMPACTED SAND BACKFILL. NO CONNECTION TO THE EXISTING SANITARY SEWER SYSTEM WILL BE PERMITTED UNTIL THE PROPOSED WORK HAS BEEN COMPLETED IN COMPLIANCE WITH THE CITY OF COLUMBIA WWTP REGULATIONS.

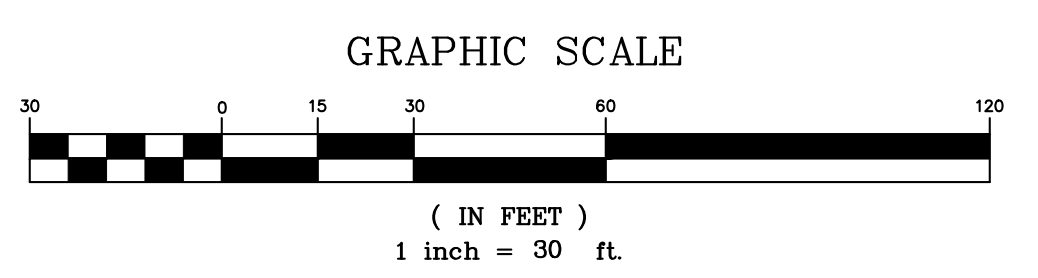
- ELECTRICAL CONDUIT NOTES:**
- ALL BUILDERS, CONTRACTORS, AND ELECTRICIANS MUST MEET WITH CITY OF COLUMBIA POWER & WATER SERVICE BEFORE CONSTRUCTION.
 - ALL ELECTRICAL CONNECTIONS AND FACILITIES TO CONFORM TO CURRENT COLUMBIA POWER & WATER SERVICE STANDARDS.
 - ALL ELECTRICAL CONNECTIONS TO BE EXTENDED FROM WITHIN THE EXISTING BUILDING TO ADDITIONS. NO SITE CONSTRUCTION OF ELECTRICAL SERVICES IS PROPOSED.

GEOTECHNICAL NOTE:
 CONTRACTOR TO COMPLETE A GEOTECHNICAL STUDY CONDUCTED ON THIS SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAVE RELIED ON GENERAL INFORMATION FROM FIELD REVIEW OF EXISTING TERRAIN. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, THE GEOTECHNICAL ENGINEER AND THE OWNER'S ENGINEER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES TO THE PROCESS (OWNER, CIVIL ENGINEER, GEOTECHNICAL ENGINEER, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

SITE BENCHMARK NOTE:
 CONTRACTOR SHALL ESTABLISH A BENCHMARK PRIOR TO CONSTRUCTION. EXISTING BENCHMARK MUST BE RE-VERIFIED AND APPROVED BY THE ENGINEER/SURVEYOR PRIOR TO USE.

BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY:
 W.E.S. ENGINEERS AND SURVEYORS
 2486 NASHVILLE HWY
 COLUMBIA, TENNESSEE 38401
 (931) 388-2329

FLOOD STUDY NOTE:
 A PORTION OF THE PROPERTY IS LOCATED WITHIN A FLOOD HAZARD AREA AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAPS (FIRM) MAP NUMBER 47119C0280E DATED APRIL 16, 2007.



FILE: \\WES_Engineers_Surveyors_2021\21563 - Course and Trotwood - KCS(Dwg)Engineers\21563_Recoil_base_ALI_5.dwg

BENCHMARK
 BENCHMARK #1
 EXISTING IRON PIN
 ELEV = 683.29'
 N = 460.072.27
 E = 1,642,756.33

WARNING! UTILITY LINES!
 THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND UTILITY WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF OVERHEAD OR UNDERGROUND SERVICES. THE UTILITY COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION. THE UNDERGROUND UTILITY LINES HAVE BEEN SHOWN AS BEST AS CAN BE DETERMINED AT THIS TIME FROM THE INFORMATION OBTAINED FROM THE SURVEY. THE CONTRACTOR SHALL CONTACT EACH OF THESE COMPANIES PRIOR TO BEGINNING CONSTRUCTION AND HAVE THEM DETERMINE THE EXACT LOCATION AND TYPE OF THEIR SERVICES.

LEGEND

| EXISTING | PROPOSED |
|-----------------------|-----------------------|
| WATER MAIN | WATER MAIN |
| SANITARY SEWER | SANITARY SEWER |
| STORM SEWER | STORM SEWER |
| OVERHEAD FENCE | OVERHEAD FENCE |
| S&S DRAINAGE DITCH | S&S DRAINAGE DITCH |
| TREE PROTECTION FENCE | TREE PROTECTION FENCE |
| UTILITY POLE | UTILITY POLE |
| IRON PIN SET | IRON PIN SET |
| EXISTING IRON PIN | EXISTING IRON PIN |
| CONCRETE MONUMENT | CONCRETE MONUMENT |
| DECIDUOUS TREE | DECIDUOUS TREE |
| GATE VALVE IN BOX | GATE VALVE IN BOX |
| LIGHT POLE | LIGHT POLE |
| BENCHMARK | BENCHMARK |
| TREE LINE | TREE LINE |
| STORM STRUCTURE LABEL | STORM STRUCTURE LABEL |
| ASPHALT | ASPHALT |
| CONCRETE | CONCRETE |
| # PARKING SPACES | # PARKING SPACES |

© 2022
WESA
 ENGINEERS & SURVEYORS
 WES E ENGINEERS & SURVEYORS
 CIVIL ENGINEERS & LAND SURVEYORS
 2486 NASHVILLE HIGHWAY
 COLUMBIA, TN 38401
 PHONE: (931) 388-2329
 www.wesengineers.com

Client
 JON CLARK ARCH. & DESIGN
 55 N 1ST Street Suite 300
 Clarksville, TN 37040
 Contact: Jon Clark AIA

| REVISIONS | DATE |
|-----------|------|
| | |
| | |
| | |

TROTWOOD @ CAYCE LANE
 CAYCE LANE
 COLUMBIA, MAURY COUNTY, TENNESSEE
 SITE LAYOUT & UTILITY PLAN

Drawn: RP
 Checked: CV
 Approved: CV
 Date: 5/4/2022

Job No. 21563
 Scale: Vertical 1"=30'
 Horizontal: 1"=30'
 C-1.0



gerald@wesengineers.com
 PRELIMINARY CONCEPT SKETCH
 NOT FOR CONSTRUCTION



ARCHITECTURAL REVIEW TEAM
PROJECT DEVELOPMENT APPLICATION
DEADLINE: 3RD MONDAY OF THE MONTH AT 4:00 PM

| | | | |
|---------------------------------------|--|--------|---------------------|
| ADDRESS/LOCATION | 5000 Trotwood Avenue | | |
| | TAX MAP: 112 | GROUP: | PARCEL: 4.03 / 4.04 |
| SUMMARY OF NATURE OF REQUEST AND WORK | Request approval of proposed Strip Center located on Cayce Lane behind the existing Kwik Sak on Trotwood Lane. | | |

| | | |
|---|----------|---|
| REQUEST DATE FOR PRE-APPLICATION CONFERENCE | 5/4/2022 | <i>Pre-application meetings are scheduled for Wednesdays between 8 and 10 am. Meeting must be requested by Monday of the same week.</i> |
|---|----------|---|

SUBMITTAL REQUIREMENTS
10 copies of plan + PDF
Fold all submittals larger than 8½"x11"

| SELECT REQUEST | PLAN SHALL INCLUDE |
|---|---|
| <input checked="" type="checkbox"/> Façade Approval <input type="checkbox"/> Alternative Compliance Requested <input type="checkbox"/> Other: _____ | <ul style="list-style-type: none"> • Site Plan • Building elevations for <u>all sides</u> of the building: Color elevations, required, at legible scale, with all materials listed (materials board may be required) • If Alternative Compliance is requested, provide scope of alternative and description of proposed compliance. • Floor Plans for all new construction and façade remodels. |

Applications and all required submittals must be filed with the Department of Development Services prior to the established deadline. Both the applicant and property owner (if different from applicant) must sign the application. A representative for the project is required to be present at the meeting, at the request of the Commission.

APPLICANT

| | | | |
|---------|-----------------------------|-------|-----------------------|
| NAME | Bhavin (Bobby) Patel | PHONE | 931-388-2329 |
| ADDRESS | 5000 Trotwood Ave, Columbia | EMAIL | Bhavin71184@yahoo.com |

gerald@wesengineers.com

PROPERTY OWNER

| | | | |
|---------|-----------------------------|-------|----------------------|
| NAME | Pranay Patel | PHONE | 931-626-5244 |
| ADDRESS | 5000 Trotwood Ave, Columbia | EMAIL | pranay9809@yahoo.com |

In filling out this application, I attest that (1) I am familiar with the rules, regulations, and procedures of the City of Columbia & (2) all information contained herein is accurate & true to the best of my knowledge.

Bhavin Patel
APPLICANT NAME

Bhavin Patel
APPLICANT SIGNATURE

5/12/22
DATE

* Zoning Ordinance Article 3.3.3, Applications will be reviewed for completeness within 5 days of submittal. Incomplete applications will be removed and the applicant will be notified by certified mail listing incomplete information.*

Pranay Patel
PROPERTY OWNER NAME

PRANAY PATEL
PROPERTY OWNER SIGNATURE

5-12-22
DATE

STAFF USE ONLY

| | | | |
|---|--|------------------|--|
| DOCKET NO. | | FEE PAID | |
| RECEIPT NO. | | REQUESTED AGENDA | |
| DATE NOTICES SENT TO ADJACENT PROPERTY OWNERS | | | |
| DATE OF PUBLIC NOTICES IN DAILY HERALD | | | |
| BOARD ACTION | | | |

**PRELIMINARY
 - NOT FOR
 CONSTRUCTION**

Jonathan W. Clark
 Lic. No.: 102567
 Exp. - February 28, 2023

PROJECT INFORMATION:
 Name:

**Trotwood
 Retail Center**

Project Address:
 5000 Trotwood,
 Columbia, Tennessee 38401

Project Number:
 22110

Drawn By:
 AKA

Date:
 05.13.2022

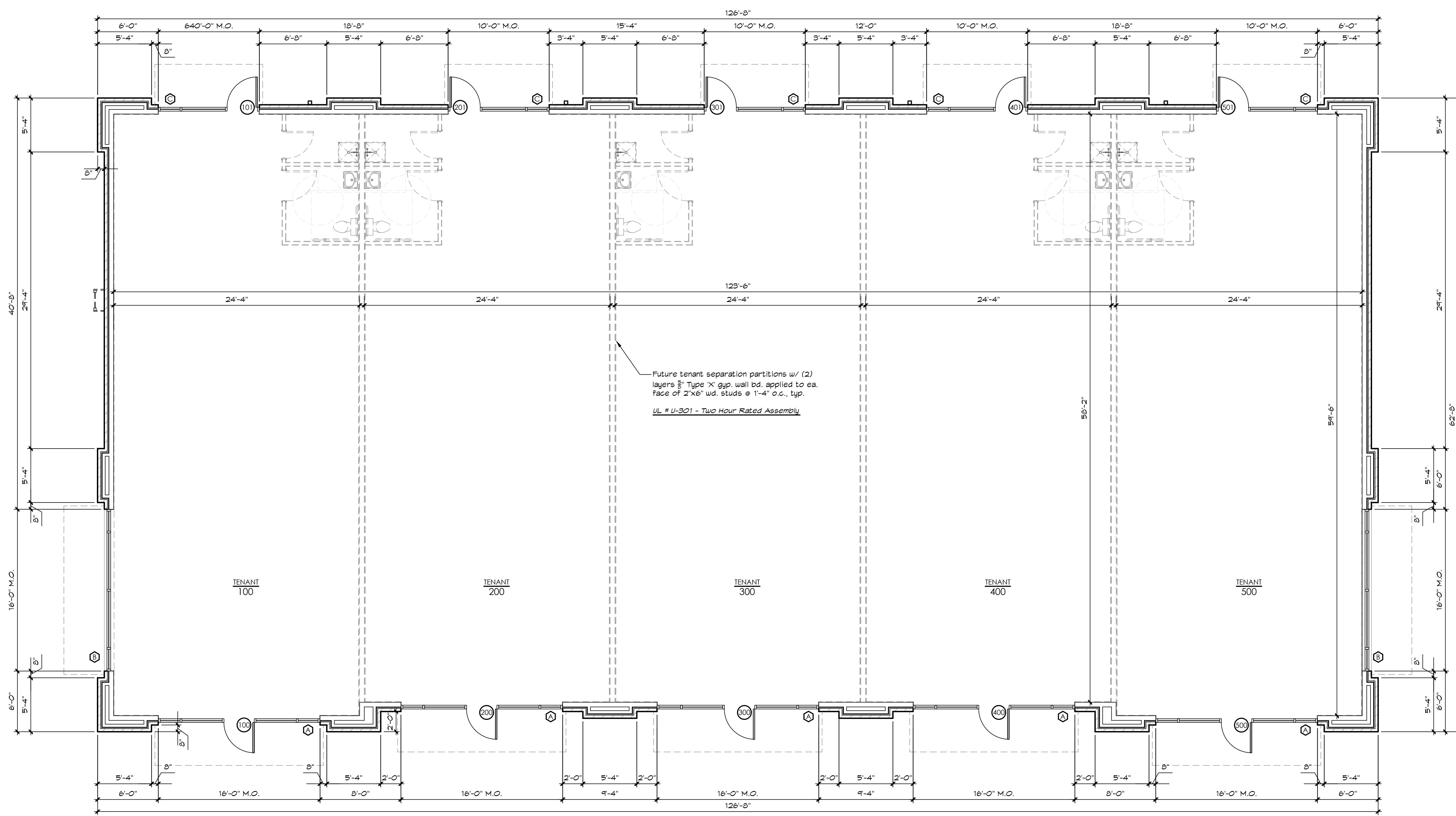
| # | Revision Date: |
|---|----------------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

55 North 1st Street - Suite 300
 Clarksville, Tennessee 37040
 p - 931.552.3840
 e - info@jclarkarchitecture.com

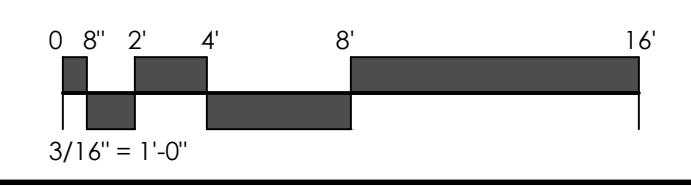
Sheet Name
FLOOR PLAN

Sheet Number
A 2.1

Copyright © 2022 -
 J. Clark Architecture + Design, LLC



1 Floor Plan
 A 2.1 3/16" = 1'-0"



**PRELIMINARY
 - NOT FOR
 CONSTRUCTION**

Jonathan W. Clark
 Lic. No.: 102567
 Exp. - February 28, 2023

PROJECT INFORMATION:
 Name:

**Trotwood
 Retail Center**

Project Address:
 5000 Trotwood,
 Columbia, Tennessee 38401

Project Number:
 22110

Drawn By:
 AKA

Date:
 05.13.2022

Revision Date:

55 North 1st Street - Suite 300
 Clarksville, Tennessee 37040
 p - 931.552.3840
 e - info@clarkarchitecture.com

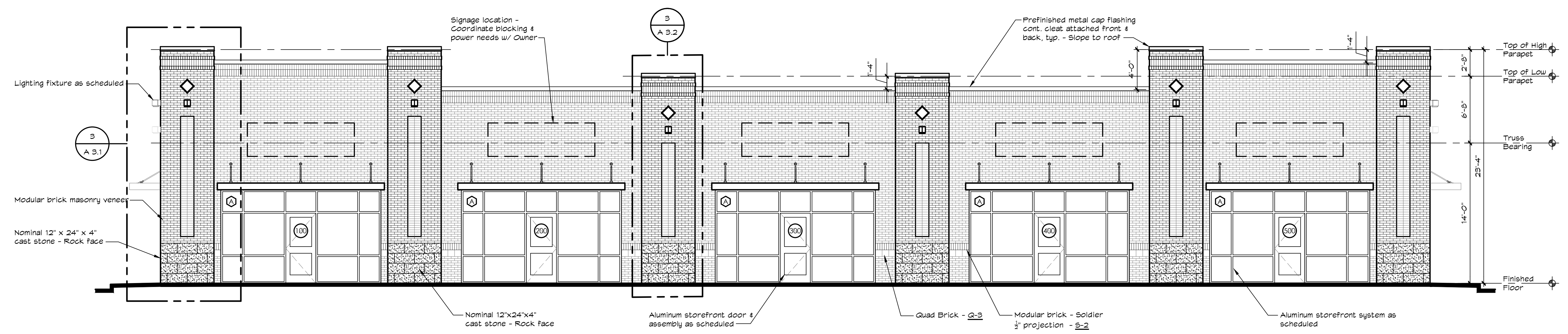
Sheet Name

**EXTERIOR
 ELEVATIONS**

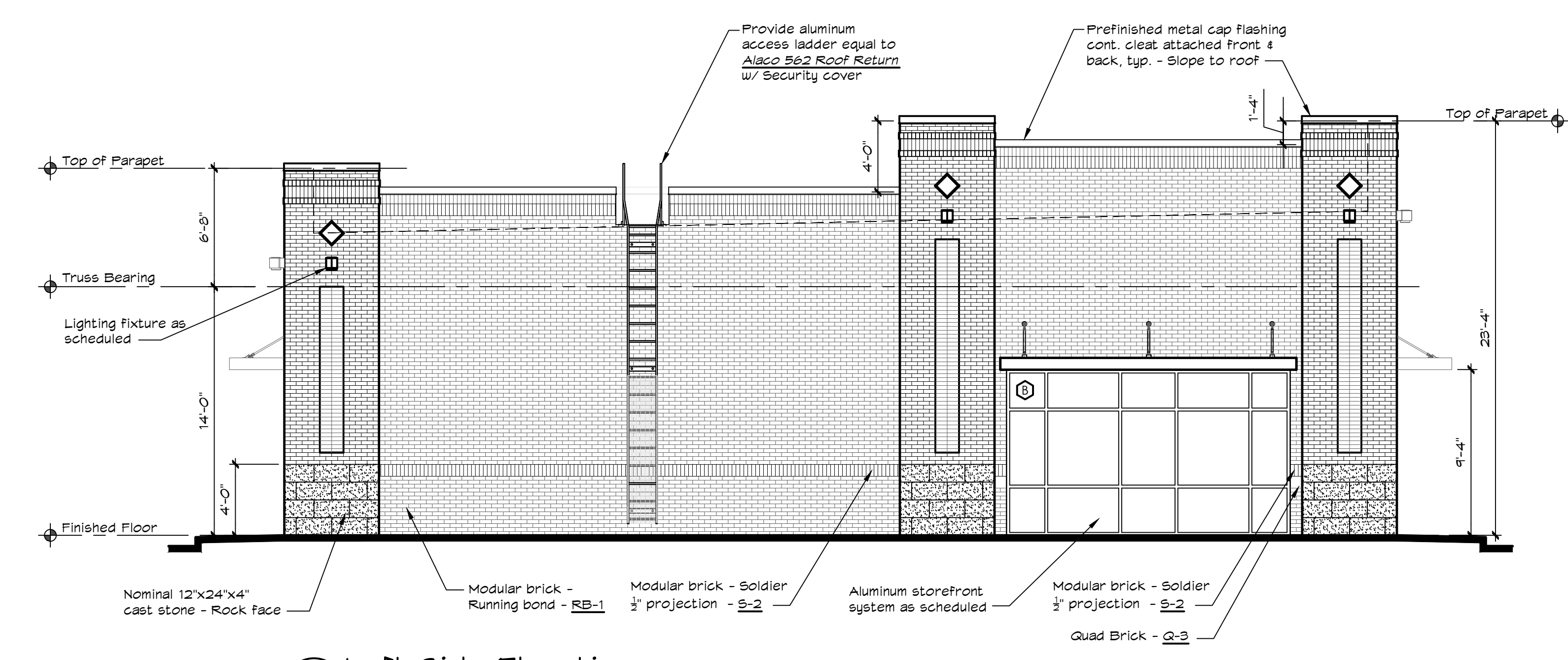
Sheet Number

A 3.1

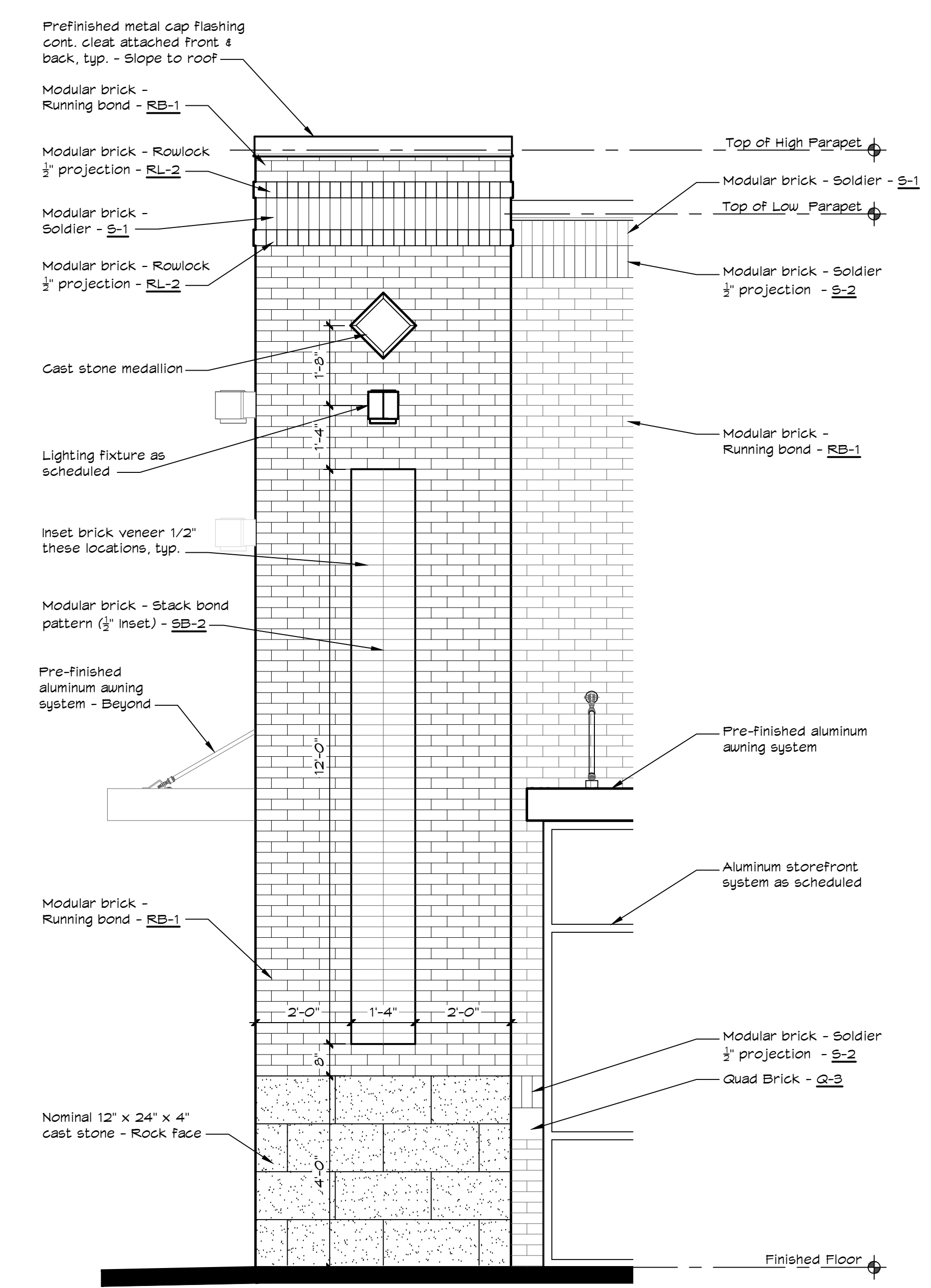
Copyright © 2022 -
 J. Clark Architecture + Design, LLC



1 Front Elevation
 A 3.1 3/16" = 1'-0"

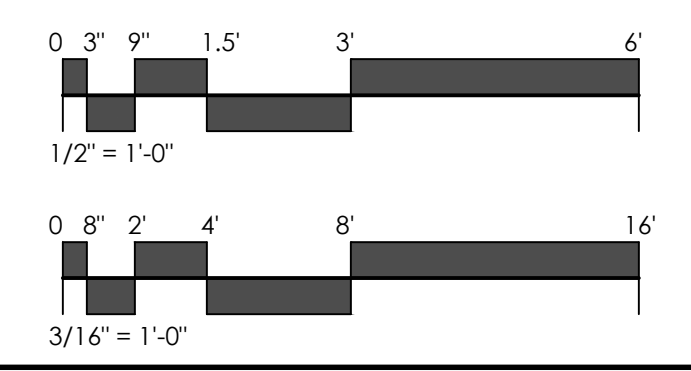


2 Left Side Elevation
 A 3.2 3/16" = 1'-0"



3 Exterior Elevation Detail
 A 3.1 1/2" = 1'-0"

- BRICK VENEER TYPES:**
- S-1** - Denotes 4" nominal brick masonry veneer soldier course(s) - *Color 1*
 - S-2** - Denotes 4" nominal brick masonry veneer soldier course(s) - *Color 2* (1/2" projection)
 - RB-1** - Denotes 4" nominal brick masonry veneer running bond pattern - *Color 1*
 - RL-2** - Denotes 4" nominal brick masonry veneer rowlock pattern - *Color 2* (1/2" projection)
 - Q-3** - Denotes special shape brick masonry veneer (6"x8"x4" Nominal) - *Color 3*
 - SB-2** - Denotes 4" nominal brick masonry veneer stack bond pattern - *Color 2* (1/2" inset)



**PRELIMINARY
 - NOT FOR
 CONSTRUCTION**

Jonathan W. Clark
 Lic. No.: 102567
 Exp. - February 28, 2023

PROJECT INFORMATION:

Name:
Trotwood Retail Center

Project Address:
 5000 Trotwood,
 Columbia, Tennessee 38401

Project Number:
 22110

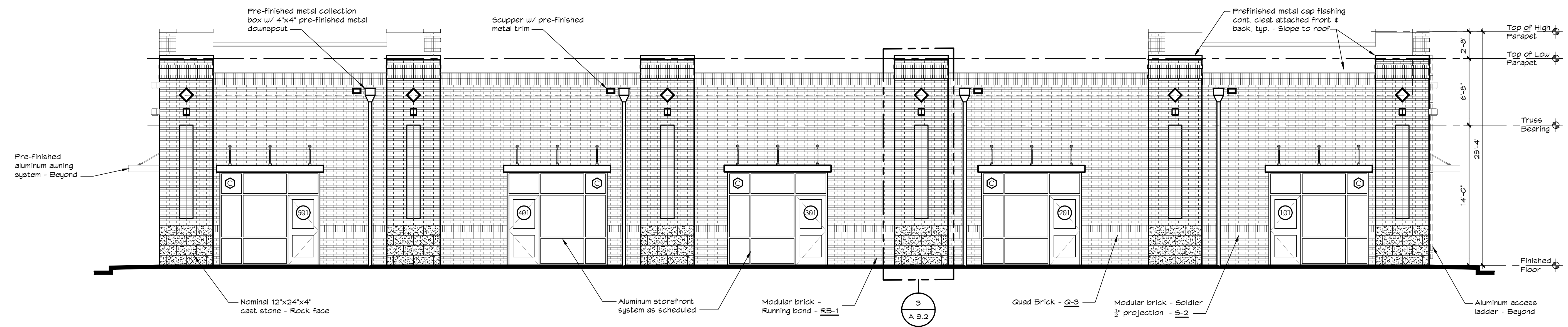
Drawn By:
 AKA
 Date:
 05.13.2022

| # | Revision Date: |
|---|----------------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

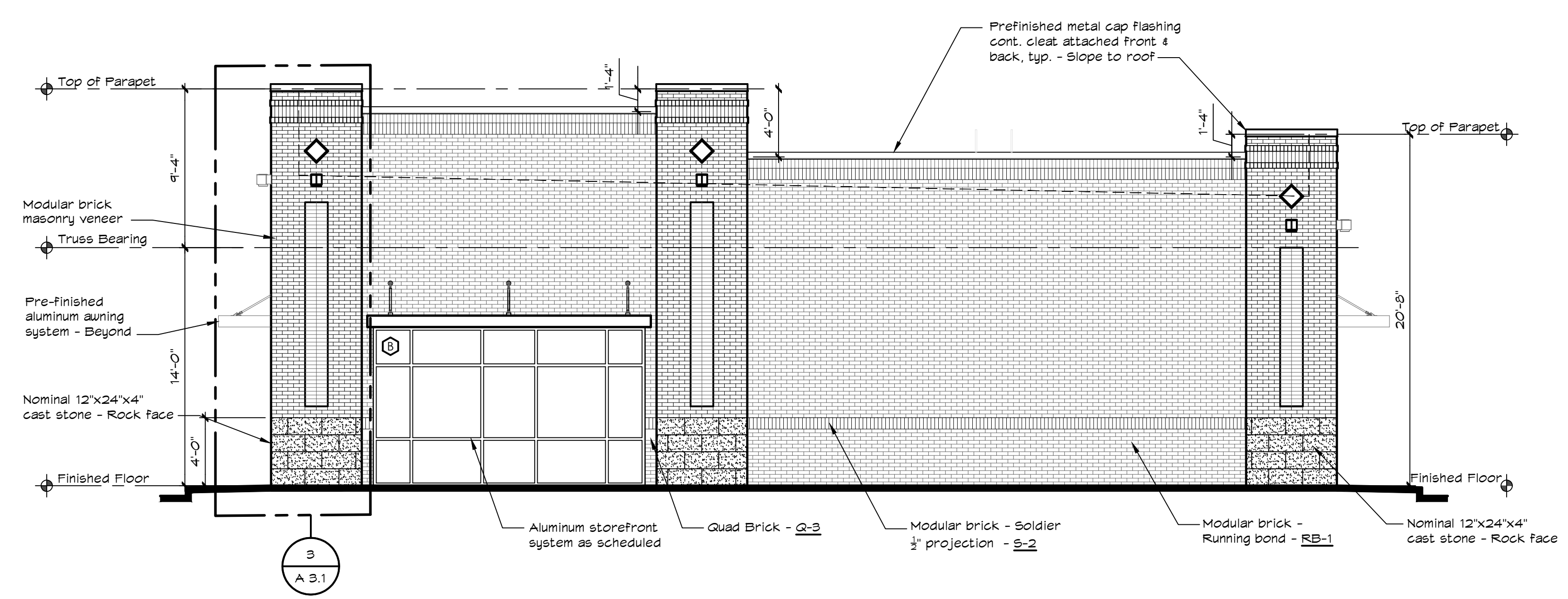
Sheet Name
EXTERIOR ELEVATIONS

Sheet Number
A 3.2

Copyright © 2022 -
 J. Clark Architecture + Design, LLC



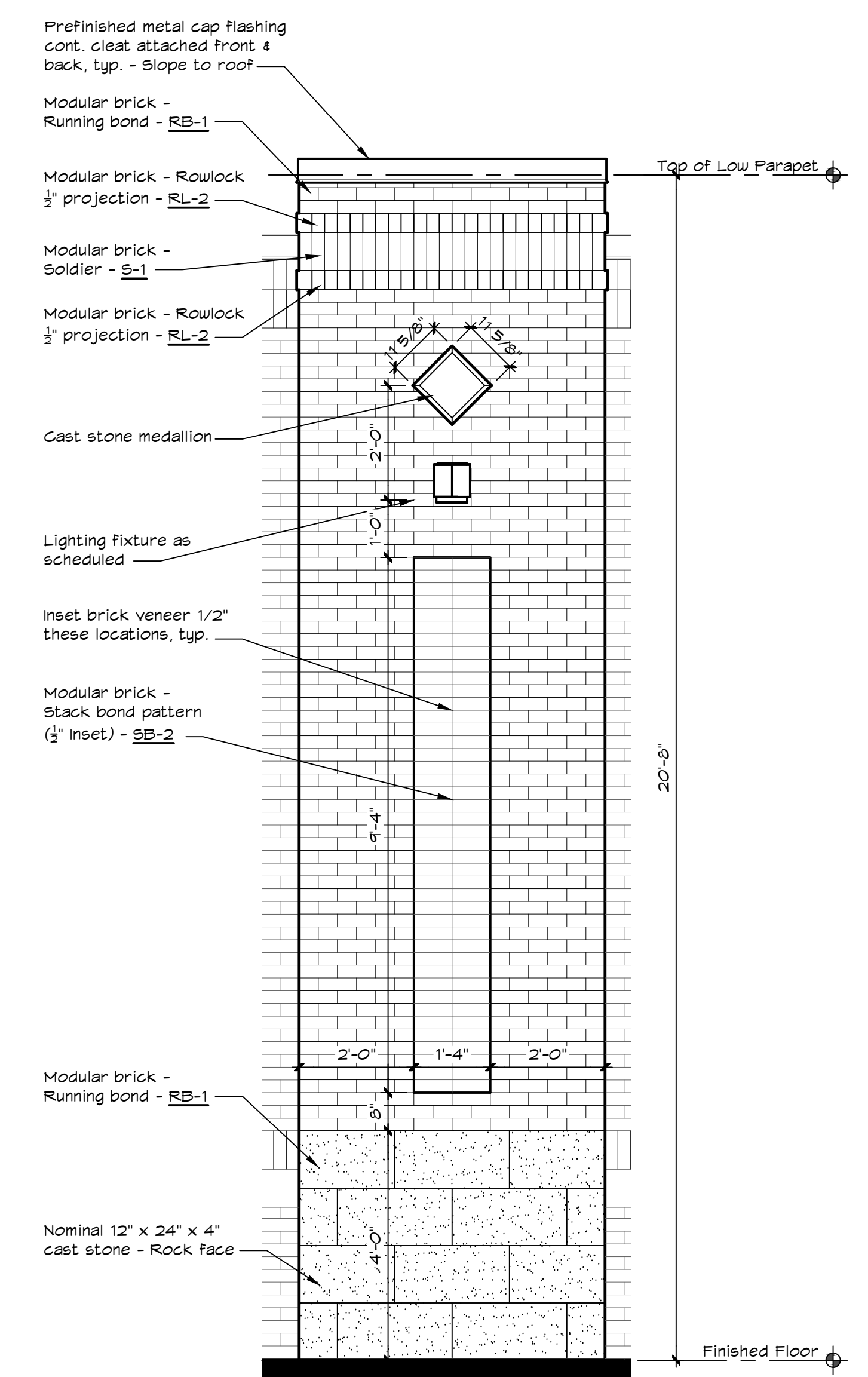
1 Rear Elevation
 A 3.2 3/16" = 1'-0"



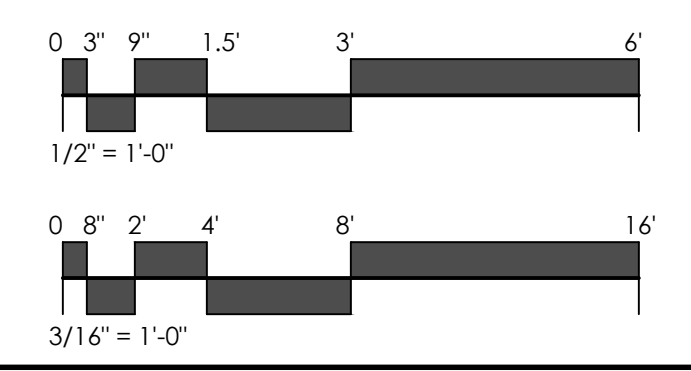
2 Right Side Elevation
 A 3.2 3/16" = 1'-0"

BRICK VENEER TYPES:

- S-1** - Denotes 4" nominal brick masonry veneer soldier course(s) - Color 1
- S-2** - Denotes 4" nominal brick masonry veneer soldier course(s) - Color 2 (1/2" projection)
- RB-1** - Denotes 4" nominal brick masonry veneer running bond pattern - Color 1
- RL-2** - Denotes 4" nominal brick masonry veneer rowlock pattern - Color 2 (1/2" projection)
- Q-3** - Denotes special shape brick masonry veneer (8"x8"x4" Nominal) - Color 3
- SB-2** - Denotes 4" nominal brick masonry veneer stack bond pattern - Color 2 (1/2" inset)



3 Exterior Elevation Detail
 A 3.2 1/2" = 1'-0"



CONTACT INFORMATION

Austin Brass, City Planner, abrass@columbiatn.com , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

ART 22-0142

APPLICANT/OWNER

Bobby Patel/ Pranay Patel

MEETING DATE

N/A

PROPERTY ADDRESS/LOCATION

**5000 Trotwood Ave/ Tax Map 112
Parcel 4.03/ 4.04**

PROJECT DESCRIPTION:

This request is for the new construction of a 7,500 SF retail center that will consist of five tenant spaces. Primary façade materials will consist of brick with a soldiered base and cap accented by a finished cast stone rock face at the base of the pilaster columns. This request meets the design guidelines as referenced below for the use of façade materials and modulation.



| EXISTING ZONING | EXISTING LAND USE | SURROUNDING ZONING & LAND USE | SITE IMPROVEMENTS | Historic District |
|-----------------------------------|-------------------|--|------------------------|-------------------|
| GCS (General Commercial Services) | Vacant Land | GCS/ R-10 & Single-Family Residential/ Gas Station | 5 tenant retail center | N/A |

Building Facade Design Standards Referenced:

Sec. 6.1 General 6.1.6 Building façade Design Standards

B. Standards

1. All facades shall be constructed of one or a combination of the following materials: concrete aggregate, stucco, brick, stone, glass or wood, faced concrete block.
2. No portion of building constructed of unadorned (un-faced) concrete masonry units or corrugated and/or sheet metal shall be used.
3. Monolithic buildings are prohibited and no single façade extending unbroken more than approximately 35 feet in a horizontal plane may be visible from a public roadway. Compliance may be obtained through the following:
 - a. The use of projections or recesses (articulation).
 - b. The use of architectural detail to provide visual interest including but not limited to: columns, large windows, entry ways, beams, poles, or glass.

C. Alternative Compliance

Alternative Compliance may be obtained using the Design Review process. In such cases, the Architectural Design Review Team shall have the authority to approve the following:

1. Materials of construction not listed, provided the materials used are implemented in a manner that enhances the surrounding area and complies with the intent of the code.

PLANNING STAFF EVALUATION:

- The proposed west (rear) building elevation will consist of a primary façade material of brick accented by brick soldiering within the base and the columns. Each individual pilaster will be accented by a stone medallion detail. Aluminum storefront windows will be facing the Cayce Lane elevations. The front elevation will consist of the same primary façade materials as the rear elevation with a combination of brick details separated by brick pilasters.
- The right and left (side) elevations will consist of a primary brick material as all other elevations with a 4' recessed parapet.
- It shall be recommended that as a condition of approval that all rooftop HVAC equipment be screened by the raised parapet with no exterior visibility.