



## AGENDA

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The Columbia Municipal Planning Commission will meet on April 6th for Study Session and April 13th for Voting Session at 4:00 P.M., Council Chambers in the basement of City Hall, 700 N. Garden Street to consider the following:

1. Organization
  - 1.1. Call To Order
  - 1.2. Roll Call
  - 1.3. Welcome Of Visitors/Rules Of Conduct
  - 1.4. Acknowledgement Of Official Communications Of The Columbia City Council On Annexation And Zoning.
  - 1.5. Review Of Bonds And Letters Of Credit
  - 1.6. Approval Of Minutes
2. Consent Agenda
  - 2.1. 22-0027 - Final Plat For Summerdale Phase 7  
Request from Martin Engineering for approval of a Final Plat with surety of \$66,000 for Summerdale Phase 7, located at [Tax Map 114 Parcel 19.00](#).
  - 2.1.A. 22-0027 - Current Submittal And Staff Report  
  
Documents:  
  
[22-0027\\_Final Plat\\_Summerdale Phase 7 Final Plat.pdf](#)  
[22-0027\\_Staff Report\\_Summerdale Phase 7\\_Final Plat.pdf](#)
3. Discussion
  - 3.1. 21-0295 - Site Plan Approval Of Legacy At Highland Estates  
Request from Civil Design Consultants for site plan approval of Legacy at Highland Estates off Willis Way being [Tax Map 75 Parcel 51.06](#).

**DEFERRED FROM A PREVIOUS AGENDA**

3.1.A. 21-0295 - Current Submittal And Staff Report

Documents:

[21-0295\\_Updated Site Plan\\_Legacy at Highland.pdf](#)  
[21-0195 Staff Report Legacy at Highlands Updated.pdf](#)

3.2. 22-0012 - Rezoning 194 Theta Pike

Request from Fulmer Lucas Engineering to rezone a portion of Parcel 46.00 of Tax Map 90B, located at [194 Theta Pike](#), from General Commercial Services (GCS) to High Density Residential (RM-1).

**DEFERRED FROM A PREVIOUS AGENDA**

3.2.A. 22-0012 - Current Submittal And Staff Report

Documents:

[22-0012\\_Revised Concept Plan\\_Rezoning GCS to RM-1.pdf](#)  
[22-0012\\_Staff Report\\_Theta Pike\\_Rezoning GCS to RM-1\\_Revised.pdf](#)

3.3. 22-0033 Preliminary Plat For Honey Farms Townhomes Phases 1A, 1B,And 3

Request from McNeely Civil Engineering for approval of a Preliminary Plat for Honey Farms Townhomes Phases 1A, 1B and 3, being [Tax Map 51 Parcel 58.02](#).

3.3.A. 22-0033 - Current Submittal And Staff Report

Documents:

[22-0033\\_Resubmittal\\_Honey Farms Preliminary Plat Final PUD.pdf](#)  
[22-0033\\_Staff Report\\_Honey Farms PrePlat Final Pud Master Phases 1A\\_1B\\_3.pdf](#)

3.4. 22-0035 - Rezoning Off Bear Creek Pike

Request from T-Square Engineering to rezone approximately 7.43 acres off Bear Creek Road from (General Commercial Services) GCS to (High Density Residential) RM-1, being [Tax Map 72 Parcel 30.02](#).

3.5. 22-0037 Preliminary Plat For Homestead South

Request from T-Square Engineering for approval of a Preliminary Plat for Homestead South Subdivision to consist of 19 single family lots zones RS-6, being [Tax Map 52 Parcel 14.00](#).

3.5.A. 22-0037 - Current Submittal And Staff Report

Documents:

[22-0037 Staff Report Homestead South Preliminary.pdf](#)  
[22-0037\\_Resubmittal Preliminary Plat\\_Homestead South.pdf](#)

3.6. 22-0042 - Review And Recommendation On The Proposed City Of Columbia Engineering Standards And Specifications (ESS)

Request by the Development Services Department to review and recommend to the City Council to approve by Ordinance the Proposed Engineering Standards and Specifications.

<https://www.columbiatn.com/DocumentCenter/View/1709/ESS-Public-Draft-Feb-9-2022-PDF>

- 3.7. 22-0041 - Review And Action On The Revised City Of Columbia Subdivision Regulations Request by Development Services Department to review and approve the Revised Subdivision Regulations conditioned upon the approval of the Engineering Standards and Specifications with the same effective date.

<https://www.columbiatn.com/DocumentCenter/View/1710/SubRegs-Public-Draft-Feb-9-2022-PDF>

4. Other Business
  - 4.1. 2021 Annual Report From The Department Of Development Services
5. Adjourn

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Anyone requesting accommodations due to disabilities should contact the City's ADA Coordinator at 931-560-1570 prior to the meeting.

The [2022 Meeting Schedule](#) can be found on the [City of Columbia Municipal Planning Commission webpage](#).

The City's Comprehensive Plan, [Connect Columbia](#) can be found on the [Planning & Zoning webpage](#). For other questions, please contact the Department of Development Services at 931-560-1560.

**PURPOSE NOTE**

THE PURPOSE OF THIS PLAT IS TO CREATE 16 RESIDENTIAL LOTS (71-86)

**Surveyor's Notes**

- The property shown hereon is located within the City of Columbia, Maury County, TN. All matters pertaining to construction, use, location of improvements, signage, parking, noise, vibration, emissions, fire hazards, radiation, illumination, setback provisions, etc., are subject to the City of Columbia's Zoning Regulations as interpreted and regulated by the Department of Development Services.
- This property currently identified as a portion of Parcel Number 019.00 per Tax Map No. 114.
- Deed reference: Record Book R2563, page 693, Register's Office of Maury County, Tennessee.
- Bearings based on: Tennessee State Plane, as determined by GPS observation.
- This drawing was prepared in accordance with our field survey notes. It shows improvements as they exist to the best of our knowledge, but is not guaranteed to be correct in each and every detail.
- This survey was prepared from current deeds of record and does not represent a title search or a guarantee of title, and is subject to any state of facts a current and accurate search may reveal.
- Total area of property surveyed is 3.54 acres ±.
- New Right-Of-Way dedication: 0.55 acres ±.
- There is a 10 foot easement on property lines parallel to the public road for public utility and drainage easements. Additional requirements may apply based on actual field conditions.
- Subject property does not lie in a FEMA/FIRM "Special Flood Hazard Area" as shown on Map 47119C0285E dated April 16, 2007.
- Unless otherwise noted, all lot corners are marked with iron rods.
- Variable setbacks based on Master Plan.

**Utility Notes**

Public electric and communication utilities serving this development traverse underground and all related fixtures required for this service are encompassed by a 10-foot Public Utility Rights of Way Easement on all property lines parallel and abutting public or private roadways and 5 feet wide easement on all interior lot lines for utility and drainage easements.

Service lines and fixtures will branch from main utility line and extend to an individual multi-unit structure within this easement. The gang meter base will be attached to the exterior wall of the structure. This gang meter base will serve as a branch in which individual service lines will extend to each unit within the structure.

The gang meter base will be encompassed by a blanket utility easement for service and maintenance as needed and required. Gang meter bases, electrical service entrance conductors from transformer to gang meter bases as well as lines leaving the gang meter base to serve individual units will be the responsibility of the Home Owners Association.

Additionally, a 10-foot Public Utility Rights of Way Easement shall continue vertically from the foundation through the roof on the exterior wall at the location of the meter bases of each building.

Stormwater appurtenances as depicted on this Final Plat shall be maintained as directed in the "Inspection and Maintenance Agreement of Private Stormwater Management Facilities" as recorded in Record Book \_\_\_\_\_ pages \_\_\_\_\_ in the Register's Office of Maury County, Tennessee.

8" water line to be owned and maintained by Columbia Power and Water Systems

8" sanitary sewer line to be owned and maintained by Columbia Wastewater Systems.

Utility easements shown graphically hereon are further described as being 20 feet in width, centered on their utility lines (e.g., sanitary sewer line, storm sewer lines), 10 foot wide easement centered on water lines.

**Owner:**  
P & L DEVELOPMENT LLC  
818 S. MAIN STREET  
COLUMBIA TN 38401



**Certificate of Ownership and Dedication**

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon as evidenced in Book Number E2263, page 693, Maury County Register's Office, and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and that offers of irrevocable dedication for all public ways, utilities, and other facilities have been filed.

Date: 2022

Title (P & L DEVELOPMENT LLC.)

**Certificate of Survey Accuracy**

I (we) hereby certify that to the best of my (our) knowledge and belief that this is a true and accurate survey of the property shown hereon; that this is a Class "T" Land Survey as defined in Title 62, Chapter 18, Tennessee Code Annotated, and that the ratio of precision is greater than or equal to 1:10,000.

Date: 2/3, 2022  
Registered Land Surveyor: Bobby G. Moore, RLS No. 1039

**Certificate of Approval of Water System**

I hereby certify that the water system(s) outlined or indicated on the final subdivision plat entitled "Final Plat - Summerdale - Phase 7" has/have been installed in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

Date: 2022  
Superintendent, Columbia Water System

**Certificate of Approval of Streets, Drainage, and Utilities**

I hereby certify that the streets, drainage, and utilities designated in Summerdale - Phase 7 have been installed in accordance with City specifications, or a performance bond in the amount of \$\_\_\_\_\_ has been posted with the City of Columbia, Tennessee, to assure completion of such improvements.

Date: 2022  
City Engineer, Columbia, Tennessee

**Certificate of Approval for Recording**

I hereby certify that the subdivision plat shown hereon has been found to comply with the Columbia Subdivision Regulations, with the exceptions of such variances, if any, as noted in the minutes of the Planning Commission, and that it has been approved for recording in the Office of the County Register.

Secretary, Planning Commission: \_\_\_\_\_ Date: \_\_\_\_\_  
Columbia, Tennessee

**Certificate of Approval of Subdivision Name and Street Names**

Subdivision name and street names approved by Maury County E-911.  
Date: 2022  
Maury County E-911

**Certificate of Approval for Sewer System**

I hereby certify that the sewer system outlined or indicated on this final subdivision plat has been installed in accordance with current local and state government requirements, or a sufficient bond or other surety has been filed to guarantee said installation.

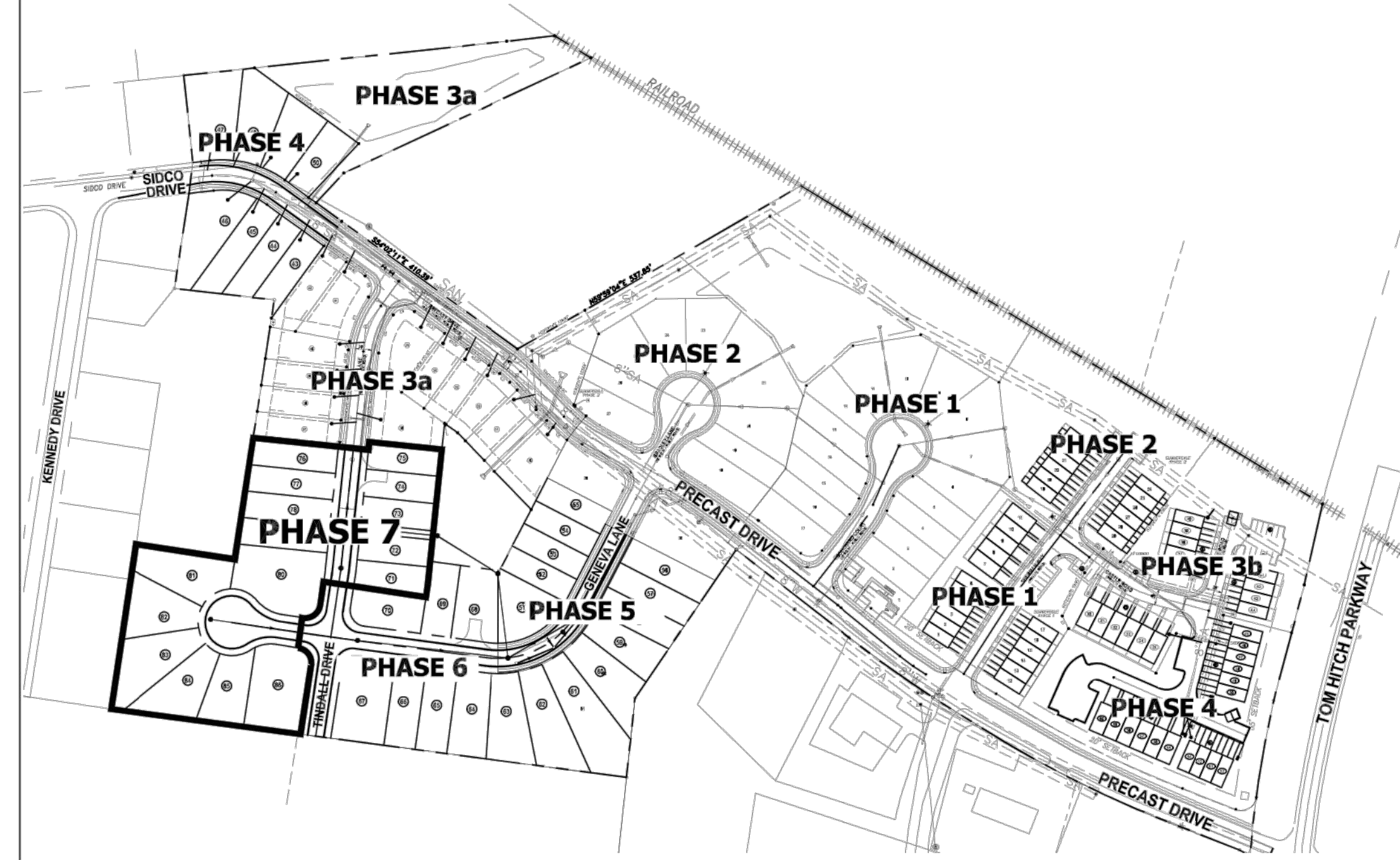
Date: 2022  
Superintendent, Columbia Wastewater System

**Certificate of Compliance**

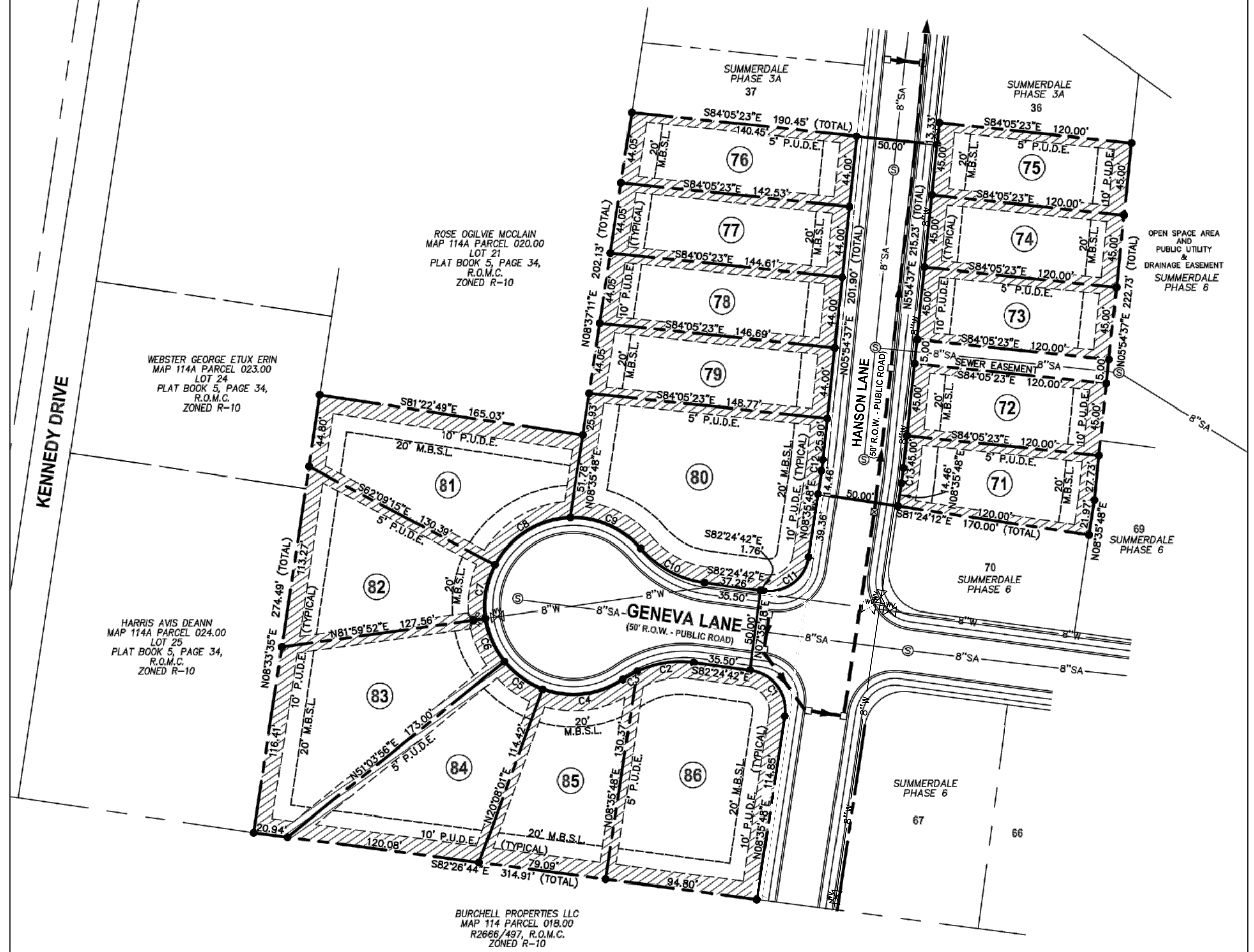
I hereby certify that the subdivision plat shown hereon has been found to comply with the Columbia Subdivision Regulations and other adopted ordinances and policies.

City Engineer: \_\_\_\_\_ Date: \_\_\_\_\_  
Columbia, Tennessee

**OVERALL VIEW - SCALE: 1"=200'**



**SCALE: 1"=60'**

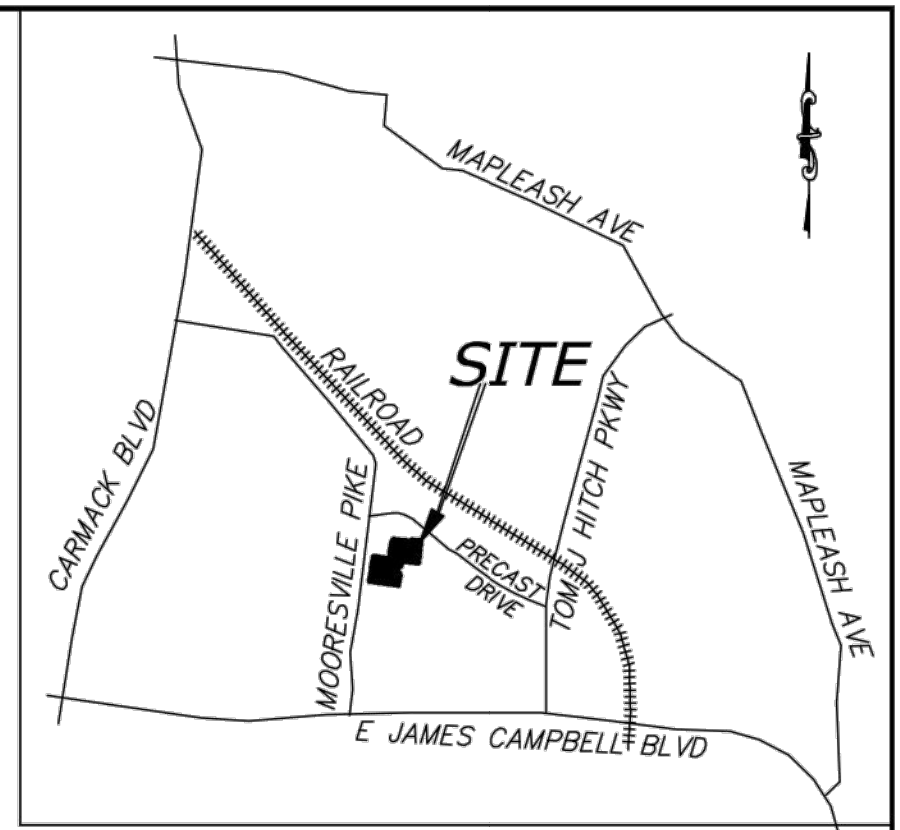


**CURVE TABLE**

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	91°00'30"	25.00'	39.71'	N36°54'27" W	35.67'
C2	132°41'44"	63.00'	35.95'	S61°14'26" W	35.46'
C3	9°04'47"	63.00'	9.98'	S60°21'10" W	9.97'
C4	54°19'14"	55.00'	52.14'	S82°58'24" W	50.21'
C5	30°55'55"	55.00'	29.69'	N54°24'01" W	29.33'
C6	30°55'55"	55.00'	29.69'	N32°28'06" W	29.33'
C7	35°50'53"	55.00'	34.41'	N09°55'18" E	33.85'
C8	60°14'53"	55.00'	57.83'	N57°58'12" E	55.21'
C9	51°16'11"	55.00'	49.22'	S66°16'16" E	47.59'
C10	41°46'31"	63.00'	45.93'	S61°51'26" E	44.82'
C11	88°59'30"	25.00'	38.83'	N53°05'33" E	35.04'
C12	2°41'11"	150.00'	7.03'	N07°15'13" E	7.03'
C13	2°41'11"	200.00'	9.38'	N07°15'13" E	9.38'

**LOT AREAS**

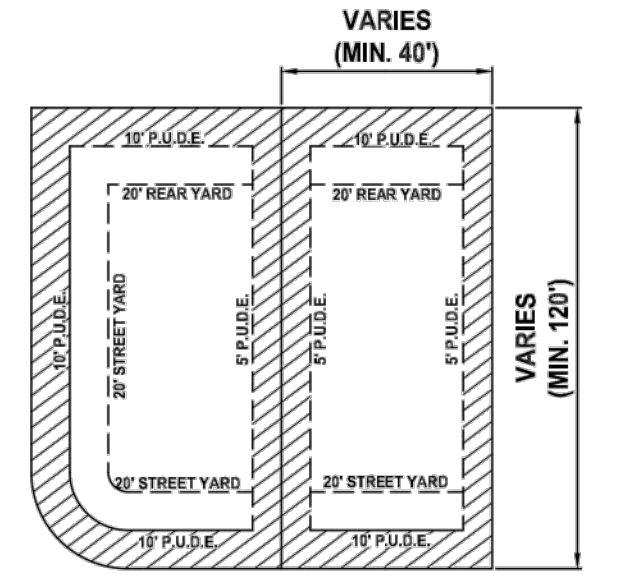
LOT NUMBER	SQUARE FEET	ACRES
71	5,627	0.13
72	5,400	0.12
73	5,400	0.12
74	5,400	0.12
75	5,400	0.12
76	6,225	0.14
77	6,317	0.15
78	6,409	0.15
79	6,500	0.15
80	14,798	0.34
81	10,805	0.25
82	8,964	0.21
83	11,100	0.25
84	9,112	0.21
85	7,779	0.18
86	13,052	0.30



VICINITY MAP  
NOT TO SCALE

**LOT DEVELOPMENT SUMMARY**

LOT WIDTH	AVERAGE LOT WIDTH	NO. LOTS	AVERAGE LOT SF	MAX. PRODUCT WIDTH	HOUSE SEPARATION (AVERAGE)
40 FT.	40'	5	5,650	28'	12'
40 FT. - 44 FT.	42.5'	19	5,410	28'	14.5'
> 44 FT.	54.2'	65	7,680	28'	26.0'



TYPICAL LOT CONFIGURATION FOR LOTS 71-86  
P.U.D.E.=PUBLIC UTILITY AND DRAINAGE EASEMENT

VARIABLE SETBACKS BASED ON PUD MASTER PLAN.

**LEGEND**

These standard symbols will be found in the drawing.

- SA--- STORM LINE
- SA--- SANITARY SEWER LINE
- W--- WATER LINE
- H--- FIRE HYDRANT COMPLETE ASSEMBLY
- M--- WATER METER VAULT
- B--- BUILDING SETBACK
- E--- EASEMENT
- P--- PROPERTY LINE
- R--- IRON ROD (SET)

**Final Plat**  
**Summerdale - Phase 7**

9th CIVIL DISTRICT OF MAURY COUNTY, TN  
CITY OF COLUMBIA, MAURY COUNTY, TENNESSEE

**SHEET 1 OF 1**

TAX MAP 114, P/O PARCEL 19.00  
ZONED: RM1 PUD

SCALE: 1"= 60'  
AREA: 3.54 ACRES±  
DATE: FEBRUARY 8, 2022

**H & H LAND SURVEYING, INC.**

612A FITZHUGH BOULEVARD  
SMYRNA, TENNESSEE 37167  
(615) 831-0756 (FAX) 355-6928  
H & H Project No. 2022-0046

**CITY OF COLUMBIA TENNESSEE  
PLANNING COMMISSION  
STAFF REPORT**

**STAFF REPORT CONTACT INFORMATION**

Kevin McCarthy, Planning Associate II, [kmccarthy@columbiatn.com](mailto:kmccarthy@columbiatn.com), 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**22-0027**

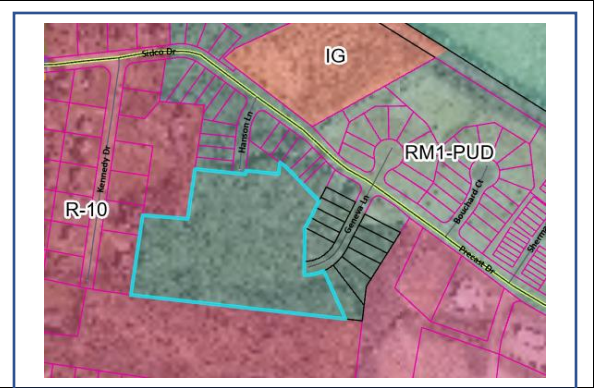
APPLICANT/PROPERTY OWNER  
**Martin Engineering & Surveying, LLC/  
P&L Development, LLC**

PUBLIC HEARING DATE  
**N/A**

PROPERTY ADDRESS/LOCATION  
**Precast Drive/ Tax Map 114 Parcel 19.00**

**SUMMARY OF REQUEST: Final Plat (Summerdale Phase 7)**

This request is for a **final plat** approval of Summerdale Phase 7 consisting of 16 single-family lots and an open space area with public utility and drainage easements.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RM-1 PUD (High-Density Residential Planned Unit Development)	Vacant	RM-1 PUD/R-10/IR Residential and Restrictive Industrial	Single-Family Homes	3.54 Acres +/-

**COMPATIBILITY with the COMPREHENSIVE PLAN:**

**Suburban Corridor:**

The future land use character area of the subject property is Suburban Corridor. The future land use is characterized by a mix of land uses including high density residential. The proposed use is consistent with the Comprehensive Plan.

**PROPERTY HISTORY:**

This Final Plat is for final phase of a seven phase Planned Unit Development. Council approved the initial Master Plan in February 2019. Council approved a revised Master Plan in July 2020. Planning Commission approved the final plats for Phases 1, 2, 3, 4, 5, and 6 in January 2020, July 2020, March 2021, April 2021, November 2021, and March 2022 respectively. Development and home construction in these phases is ongoing. Planning Commission approved the Preliminary Plat for Phase 7 in March 2021.

**COMPATIBILITY with the ZONING ORDINANCE:**

This Final Plat request is compatible with the standards of the Subdivision Regulations (2-9.3), the Zoning Ordinance (Sections 3.5.4, 3.20 and 7.3), and the final approved PUD Master Plan for Summerdale (Planning Case #19-0183). Phase 7 consists of 16 single-family lots. The lot sizes vary between 5,400 square feet and 14,798 square feet. Technical comments included a request from Maury County E911 to correct a street name noted on the Final Plat and request. The revised submittal reflects this change. Approval should be contingent upon the satisfaction of all technical comments from the Fire Marshall and City Engineer.



CITY OF COLUMBIA TENNESSEE  
PLANNING COMMISSION  
STAFF REPORT

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ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO  
STANDARDS

OTHER (DESCRIBE) :  
Zoning Ordinance  
3.5.4, 3.20 and 7.3

# SITE PLANS FOR LEGACY AT HIGHLAND ESTATES P-R PORTER LLC



**CIVIL DESIGN CONSULTANTS, LLC**  
CIVIL ENGINEERS • LAND PLANNERS  
CIVIL-DESIGN-CONSULTANTS, LLC  
420 COLBY DAVIS RD., NASHVILLE, TN 37217  
PHONE: (615) 510-9754 EMAIL: CIVILCONSULTANTS@BLSBOUTHAUS.COM

CURRENT ZONING: MHP\RS20

PROPERTY INFORMATION:

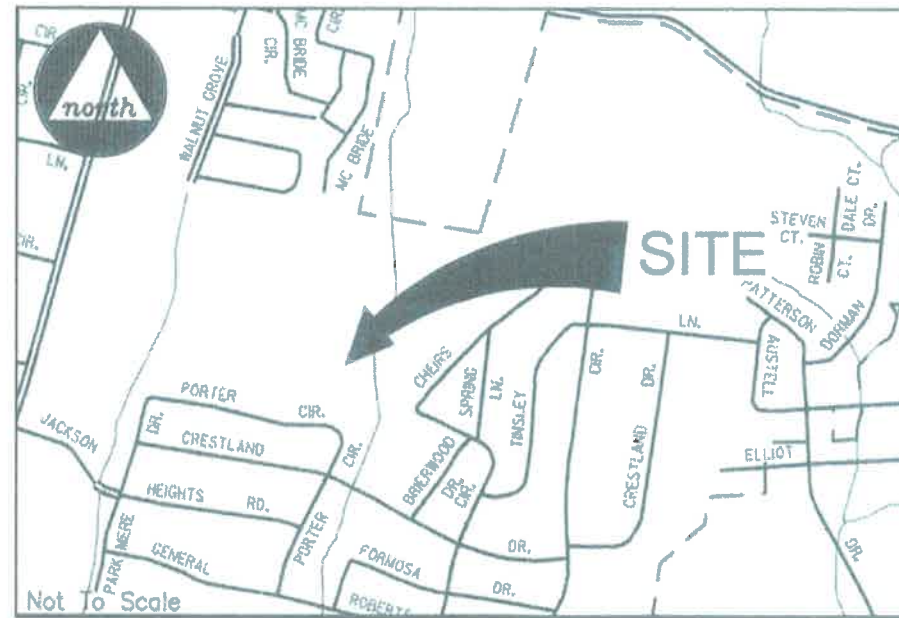
OWNER: ALVIN TYLER LUNA  
921 BAKER RD.  
COLUMBIA, TN 38401

PARCEL NUMBER: TAX MAP 75 PARCEL 51.06  
DEED BOOK: 649 PG 28

OPTIONEE\DEVELOPER  
BLAKE SEEGER  
1600 Division St Ste 700  
Nashville, TN 37203-2771

**PURPOSE NOTE:**

THE PURPOSE OF THIS PLAN IS TO ALLOW FOR CONSTRUCTION OF A MANUFACTURED AND MODULAR HOME DEVELOPMENT



**LOCATION MAP- NTS**

**CITY OF COLUMBIA, TENNESSEE  
MAURY COUNTY**

**INDEX OF SHEETS**

SHEET	DESCRIPTION
CS	COVER SHEET
00	EXISTING CONDITIONS PLAN
01	SITE LAYOUT PLAN
02	GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN
03	STORMWATER PLAN - INITIAL
04	STORMWATER PLAN - INTERMEDIATE
05	STORMWATER PLAN - FINAL
06	SITE PHOTOMETRIC PLAN
L1	LANDSCAPE ARCHITECTURE PLAN
ARCH	REPRESENTATIVE ARCHITECTURAL

PROPERTY INFORMATION:

UTILITY SERVICES:

WATER SERVICE  
COLUMBIA POWER & WATER SYSTEMS  
201 PICKENS LANE  
COLUMBIA, TENNESSEE 38401  
(931) 388-4833

ELECTRIC SERVICE  
COLUMBIA POWER & WATER SYSTEMS  
201 PICKENS LANE  
COLUMBIA, TENNESSEE 38401  
(931) 388-4833

NATURAL GAS  
ATMOS ENERGY  
810 NASHVILLE HIGHWAY  
COLUMBIA, TENNESSEE 38401  
(931) 388-9136



**LEGACY AT HIGHLAND ESTATES**  
WILLIS WAY  
MAURY COUNTY, COLUMBIA TENNESSEE

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	NONE
DATE:	DECEMBER 20, 2021
JOB NO.	WK. ORDER
2021-12	001
SHEET NO.	
CS	

3-2-2022 Handout

21-0295

**SITE DEMOLITION NOTES:**

1. ANY EXISTING ASPHALT SHALL BE SAWCUT AT LIMITS OF DEMOLITION, SAW CUT AND TIE IN CURBING, ASPHALT OR CONCRETE TO MATCH.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES IN DEMOLITION AREAS PRIOR TO CONSTRUCTION. NOTIFY APPLICABLE GOVERNING BODIES AT A MINIMUM OF 3 DAYS IN ADVANCE FOR FIELD VERIFICATION OF EXISTING UTILITIES. CONTACT THE APPROPRIATE UTILITY DEPARTMENT, FOR MORE INFORMATION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE OF EXISTING UTILITIES TO REMAIN THROUGHOUT THE DURATION OF CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN PROPER DRAINAGE WITHIN THE LIMITS OF CONSTRUCTION THROUGHOUT THE DURATION OF CONSTRUCTION.

**SITE PREPARATION NOTES:**

1. BEFORE ANY CLEARING/GRUBBING WORK IS INITIATED, THE CONTRACTOR AND REPRESENTATIVES OF BOTH ARCHITECT AND CIVIL ENGINEER WILL "WALK-OUT" THE "LIMIT OF CLEAR LINE" AND INSURE THAT IT IS CLEARLY MARKED AND VISIBLE.
2. THE SCOPE OF CONTRACT SITE PREPARATION SHALL INCLUDE CLEARING AND GRUBBING, EXCAVATION AND DISPOSAL OF ALL REMOVED TREES, VEGETATION AND OTHER DELETERIOUS MATERIAL. THE SITE PREPARATION CONTRACTOR SHALL ACCOMPLISH GRADING TO REQUIRED SUBGRADE; HOWEVER, PROPOSED CONTOURS ARE SHOWN TO FINISH SURFACE GRADE.
3. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE. AT A SPOT TO BE FIELD DETERMINED BY THE CIVIL ENGINEER, AND LATER BE USED FOR SUBSEQUENT USE IN FINAL DRESSING AND SEEDBED PREPARATION. SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF WORK ON THE PROJECT.
4. THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATERIALS DEEMED "UNSUITABLE" BY THE SOILS AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES. THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.

**GENERAL NOTES**

1. THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO THE CONSTRUCTION OF PROJECTS SUCH AS THIS ONE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES OF FIELD STAKING NECESSARY FOR SITE LAYOUT. ALL LAYOUT SHALL BE PERFORMED IN ACCORDANCE WITH DETAIL PLANS AS OUTLINED IN THE PROPOSED PROFILE PLAN. PROPER PLANS SHOULD BE USED FOR ALL NEEDED STAKING.
3. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC., ARE NOT SHOWN ON THIS PORTION OF THE PLANS BUT ARE AVAILABLE FROM THE EXISTING UTILITY PROVIDERS. HOWEVER, CIVIL DESIGN CONSULTANTS, LLC, THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATION DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT THE EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
4. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AS HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER. THEREFORE, THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE WORK, INCLUDING BARRICADES, WARNING SIGNS, AND LIGHTS.
5. THE SITE DEVELOPMENT PORTION OF THIS PROJECT WILL BE SUBJECT TO THE INSPECTION AND FINAL APPROVAL OF APPROPRIATE DEPARTMENTS HAVING JURISDICTION WITHIN THE CITY OF COLUMBIA, MAURY COUNTY.
6. IF, DURING THE CONSTRUCTION OF THE SITE DEVELOPMENT PORTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
7. THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD POWER LINES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED LINES, THE ELECTRIC AND/OR TELEPHONE COMPANIES SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
9. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE, AT A SPOT TO BE FIELD DETERMINED BY THE CIVIL ENGINEER, AND SHALL LATER BE USED FOR SUBSEQUENT USE IN FINAL DRESSING AND SEEDBED PREPARATION. SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF THE WORK ON THE PROJECT.
10. THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATTER OR MATERIALS DEEMED "UNSUITABLE" BY THE SOILS AND CIVIL ENGINEERS SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE PROPERTIES. THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S. SITE FOR THE DISPOSAL OF SAID MATERIALS SHALL FIRST BE APPROVED BY THE CIVIL ENGINEER.
11. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 6-INCH THICKNESS. SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 96% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-998) IN ALL AREAS OF FILL, AND COMPACTION OF 100% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 24 INCHES BENEATH PAVEMENT AND GRADE SLABS.

EXISTING TREES ALONG PROPERTY LINE SHALL BE LOCATED AND PRESERVED WHERE POSSIBLE UPON STAKING OF PROPERTY LINE. SEE STORMWATER SHEET C4 FOR TREE PROTECTION DETAIL.

SEE SHEET C1 FOR PROPOSED LOCATION OF THE GROSS ACCESS EASEMENT AS IT IS INTEGRATED INTO THE PROPOSED INGRESS/EGRESS/EJUE EASEMENT.

SURVEY PROVIDED BY BROWN LAND SURVEYING, LLO  
108 LUTHER ROAD  
DICKSON, TN  
PHONE: 815-351-7367

**CLEARING AND GRUBBING NOTE:**

ALL CLEARING AND GRUBBING SHALL BE COMPLETED PER CITY OF COLUMBIA REQUIREMENTS.

**SITE BENCHMARK NOTE:**

SITE BENCHMARK SHALL BE SET BY CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.

**EXISTING CONDITIONS NOTE:**

EXISTING CONDITIONS SHOWN ON THIS PLAN TAKEN FROM FIELD RUN SURVEY DATA COMPLETED BY BROWN LAND SURVEYING, AND OTHERS. CIVIL DESIGN CONSULTANTS, LLC, AND THIS ENGINEER, ASSUME NO LIABILITY AS TO THE COMPLETENESS OR ACCURACY OF WHAT IS SHOWN TO BE EXISTING. CONTRACTOR SHALL VERIFY IF NECESSARY ALL EXISTING CONDITIONS AND NOTIFY CIVIL ENGINEER IN THE EVENT THAT DISCREPANCIES EXIST.

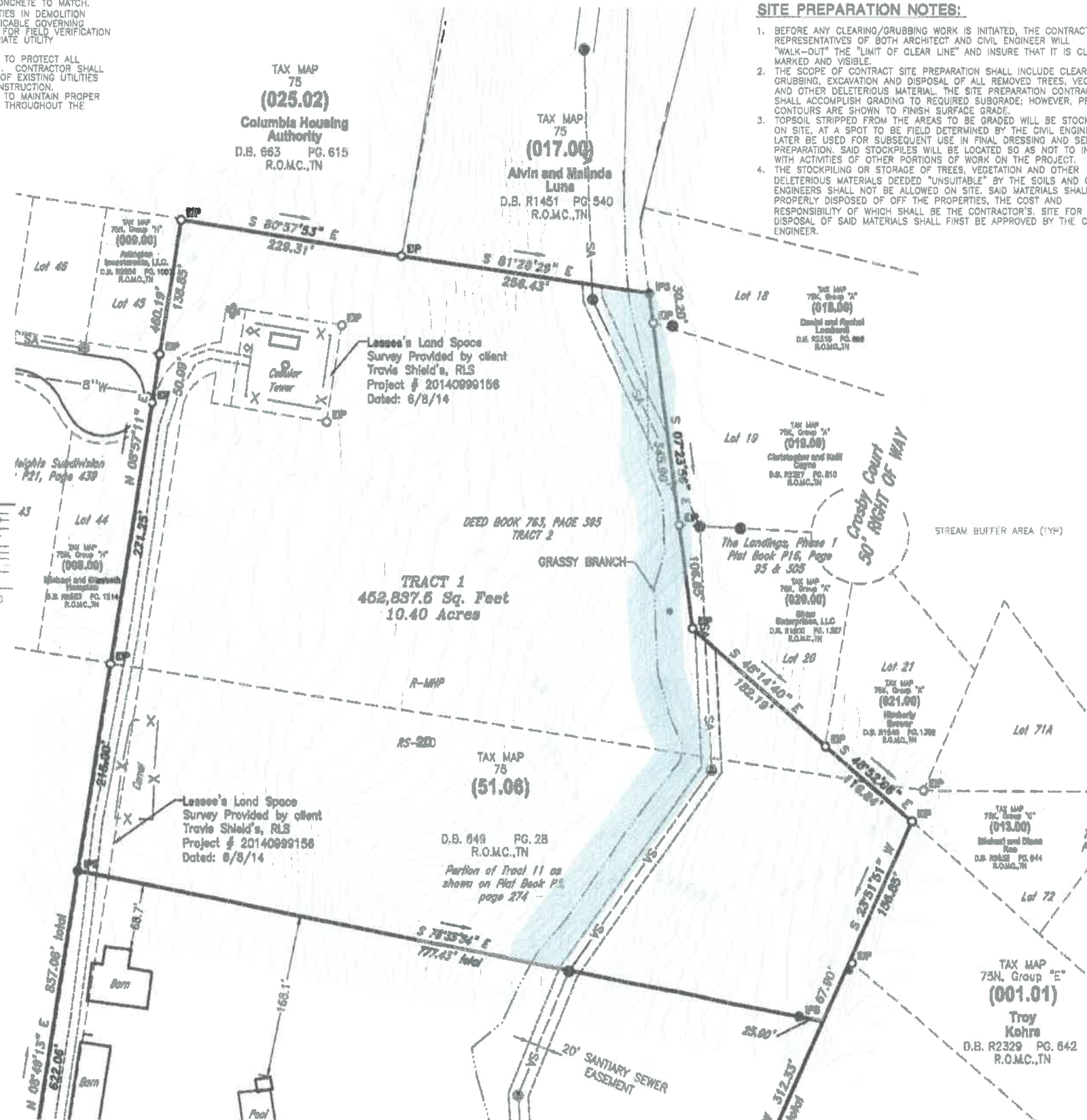
UTILITIES SHOWN TAKEN FROM AVAILABLE MAPS AND SURVEY INFORMATION. CONTRACTOR SHALL CONFIRM ALL ITEMS SHOWN.

**GEOTECHNICAL NOTE:**

NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY CIVIL DESIGN CONSULTANTS, LLC AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

**SITE ACREAGE:**

SITE ACREAGE IS 10.4± ACRE. CURRENT ZONING IS MHP. R20



**LEGACY AT HIGHLAND ESTATES**  
WILLIS WAY  
MAURY COUNTY, COLUMBIA TENNESSEE

EXISTING CONDITIONS PLAN

**REVISIONS**

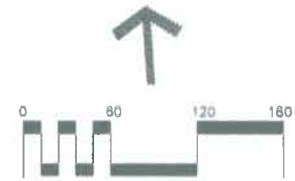
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown

DATE: DECEMBER 20, 2021  
JOB NO. WK. ORDER  
2021-12 001

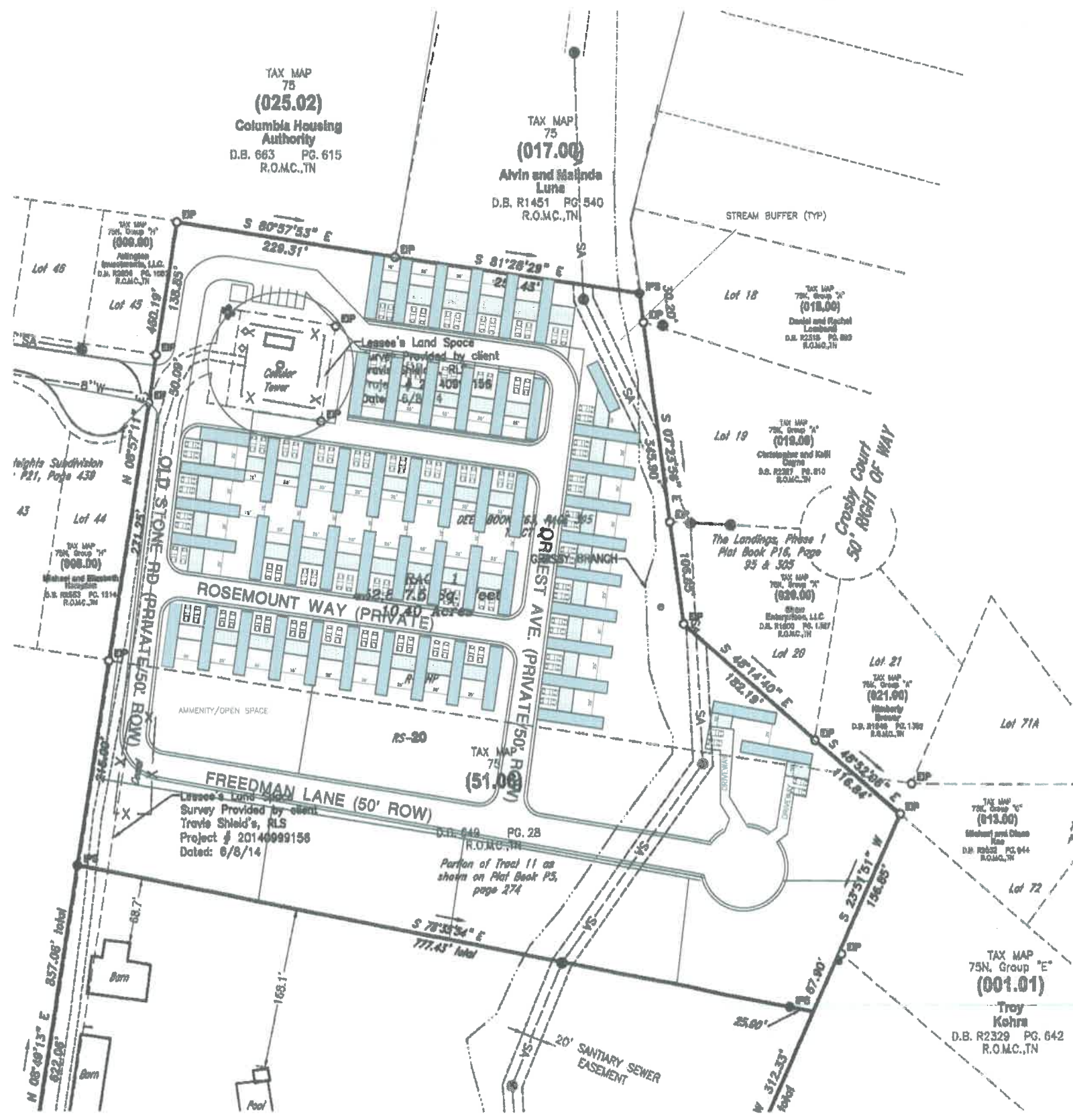
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CO



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54 UNITS  
61 LOTS



**LEGACY AT HIGHLAND ESTATES**

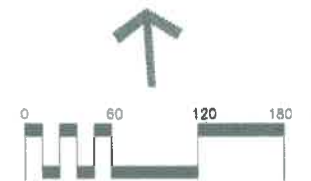
WILLIS WAY  
MAURY COUNTY, COLUMBIA TENNESSEE

SITE LAYOUT DIMENSION PLAN

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	WK. ORDER
2021-12	001

SHEET NO.  
**C1A**

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**GENERAL, GRADING AND DRAINAGE NOTES:**

1. ALL GRADING AND DRAINAGE WORK AS SHOWN ON THIS PLAN WILL BE DONE IN STRICT ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE APPROPRIATE CITY AUTHORITY, UTILITY PROVIDER & STATE AGENCY.
2. THE NECESSARY PERMITS FOR THE WORK SHOWN ON THESE SITE DEVELOPMENT PLANS WILL BE OBTAINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK ON THIS PROJECT. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS AND PAY ALL FEES INVOLVED IN SECURING SAID PERMITS. HE SHALL ALSO COMPLY WITH ALL CITY AND STATE BUILDING LAWS, ORDINANCES AND REGULATIONS RELATING TO THE CONSTRUCTION OF THE PROJECT.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES TO REMAIN DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH EXISTING INSTALLATIONS, FULL REPAIR WILL BE THE COST OF THE CONTRACTOR AND BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATIONS FOR SUCH WORK FOR THE RESPONSIBLE AGENCY.
4. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL AND TELEPHONE CONDUITS, ETC. AS SHOWN ON THIS PORTION OF THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION PROVIDED, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES; HOWEVER THE CIVIL ENGINEER DOES NOT ASSUME RESPONSIBILITY THAT, DURING CONSTRUCTION, THE POSSIBILITY OF UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY VARY SOMEWHAT FROM THE LOCATIONS DESIGNATED ON THIS PORTION OF THE PLANS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS OF UNDERGROUND LINES BE KNOWN, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE LOCATION OF THE LINES.
5. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND ELECTRICAL/TELEPHONE WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC OR TELEPHONE COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
6. ALL DELETERIOUS MATERIAL SHALL BE REMOVED AND DISPOSED OF OFF-SITE BY CONTRACTOR AS PER THE INSPECTION AND FINAL APPROVAL OF THE ENGINEER AND OWNER. ALL FILL MATERIAL TO BE USED FOR SITE GRADING WILL BE AN INORGANIC SOIL, FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIALS. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-998) IN ALL AREAS OF FILL, AND COMPACTION OF 95% OF SAME SPECIFICATION FOR MATERIALS USED IN THE UPPER 12 INCHES BENEATH PAVEMENT AND GRADE SLABS.
7. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC., BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
8. SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVEMENT OR FINISHED GRADE.
9. ALL UNPAVED AREAS SHALL HAVE A MAXIMUM SLOPE OF 3:1 UNLESS OTHERWISE SPECIFIED OR REQUIRED IN SITE SPECIFIC AREAS. ALL SLOPES 3:1 OR GREATER SHALL HAVE REINFORCEMENT MATTING TO PROTECT AGAINST EROSION.

**GENERAL SEWER NOTES:**

1. THE CONTRACTOR'S AUTHORIZED FIELD REPRESENTATIVE SHALL NOTIFY THE APPROPRIATE ENTITIES AND WATER AUTHORITY 48 HOURS PRIOR TO COMMENCING ANY WORK ON THE SANITARY SEWER EXTENSIONS.
2. ALL MATERIALS AND WORKMANSHIP FOR SANITARY SEWER LINES AND APPURTENANCES WILL BE IN STRICT COMPLIANCE WITH THE CURRENT SPECIFICATIONS OF THE WATER AUTHORITY.
3. ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED FROM PROVIDER PRIOR TO THE INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
4. THE SANITARY SEWER LINE WORK SHALL BE APPROVED BY THE CITY OF COLUMBIA.
5. NO CONNECTION TO THE EXISTING SANITARY SEWER SYSTEM WILL BE PERMITTED UNTIL THE NEW SANITARY SEWER WORK IS APPROVED BY THE APPROPRIATE ENTITIES & DW.
6. TEN-FOOT MINIMUM HORIZONTAL SEPARATION TO BE MAINTAINED BETWEEN WATER AND SANITARY SEWER LINES WHEREVER POSSIBLE.
7. ALL SANITARY SEWER SERVICES WILL BE WYE-CONECTED TO 8-INCH MAIN LINE.
8. SANITARY SEWER SERVICES MAY BE EXTENDED FROM MANHOLES AT THE END OF A SEWER LINE ONLY.
9. CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF THE EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES, AND AROUND ALL UTILITIES AND SERVICES IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES AND LINES, THE ELECTRIC AND/OR GAS COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THOROUGH EXAMINATION OF THE OVERHEAD WIRES AND LINES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
10. THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITIES, INCLUDING PUBLIC LINES.
11. FOR LOCATIONS AND LENGTHS OF 8-INCH SANITARY SEWER SERVICE LINES, SEE THIS SHEET.
12. SANITARY SEWER SERVICE LINES THAT SERVE LOTS ON THE ROADWAY'S LOWER SIDE SHALL BE CONSTRUCTED ON A SLOPE OF 2.00% UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
13. ALL SANITARY SEWER MAINS SHALL BE REQUIRED TO PASS A LOW PRESSURE AIR TEST.
14. ALL MANHOLES SHALL BE VALUED PER AGENCY STANDARDS.
15. "AS BUILT" DRAWINGS REQUIRED; SEE AUTHORITIES STANDARD SPECIFICATIONS.
16. ALL MANHOLES TO HAVE TRAFFIC BEARING FRAMES AND COVERS UNLESS NOTED OTHERWISE ON THE PLAN/PROFILE SHEETS.
17. EXISTING CONDITIONS SHOWN TAKEN FROM BARGE CAUTION ASSOCIATES, INC. CIVIL DESIGN CONSULTANTS LLC. ASSUMES NO LIABILITY AS TO ITS ACCURACY. CONTRACTOR TO VERIFY PROPOSED LENGTHS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

**CONCRETE WASH DOWN/EQUIPMENT FUELING NOTE:**

CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH THE CURRENT LATEST EDITION OF TDEC'S EROSION AND SEDIMENT CONTROL HANDBOOK.

**ADA GRADING NOTE:**

CONTRACTOR TO COMPLY WITH THE CURRENT ADA MANDATES WITH RESPECT TO DETECTABLE WARNING STRIPS AND SLOPE REQUIREMENTS FOR ALL HANDICAP ACCESSIBLE PATHS AND PARKING SPACES.

**WATER SERVICE LINE NOTE:**

ALL WATER SUPPLY LINES FROM THE WATER MAIN ARE 3/4"

**SEWER UTILITY NOTE:**

CONTRACTOR TO UNEARTH AND VERIFY INVERT OF EXISTING SEWER PRIOR TO CONSTRUCTION ALL SEWER MAIN LINES TO BE 8" ALL SEWER SERVICE LINES ARE TO BE 4"

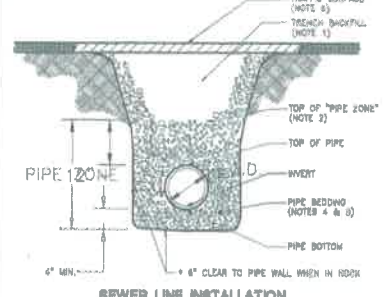
**SEWER CLEANOUT NOTE:**

CLEANOUTS TO BE PLACED 5' OUTSIDE OF BUILDING - SEE BUILDING PLUMBING PLANS ALL CLEANOUTS AND MAN-HOLE FRAMES/LIDS TO BE TRAFFIC BEARING IN VEHICULAR AREAS.

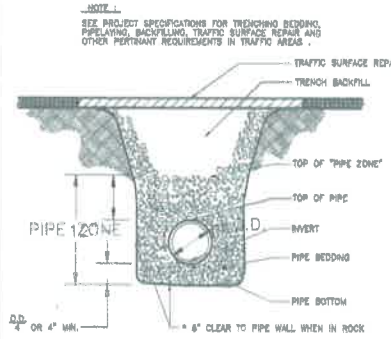
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- NOTES:**
1. BACKFILL MATERIAL SHALL CONSIST OF CRUSHED STONE (#57 OR #87).
  2. PIPE ZONE EXTENDS TO 12" ABOVE TOP OF PIPE AND SHALL BE TO BE CRUSHED STONE GRAVEL OR OTHER ANGULAR MATERIAL. LIMIT TRENCH WIDTH AT TOP OF PIPE ZONE TO 0.0 + 18" UNLESS PERMITTED OTHERWISE BY ENGINEER.
  3. PIPE BEDDING IS TO BE CRUSHED STONE GRAVEL OR ANGULAR MATERIAL AS APPROVED BY ENGINEER. 2" UNDER BOTTOM OF PIPE IS TO BE 1/8" O.D. OF PIPE OR 1", WHICHEVER IS GREATER.
  4. PIPE IS TO BE CONTINUOUSLY SUPPORTED ALONG LENGTH OF PIPE. MANHOLE JOINTS AT BELL HOLES AND SUCH THAT NO BEARING LOAD IS TAKEN BY THE BELLS.
  5. TRAFFIC SURFACE IS TO MATCH EXISTING CONDITIONS OR PROPOSED TYPICAL HEAVY OR LIGHT DUTY PAVEMENT FOR DETAILS.

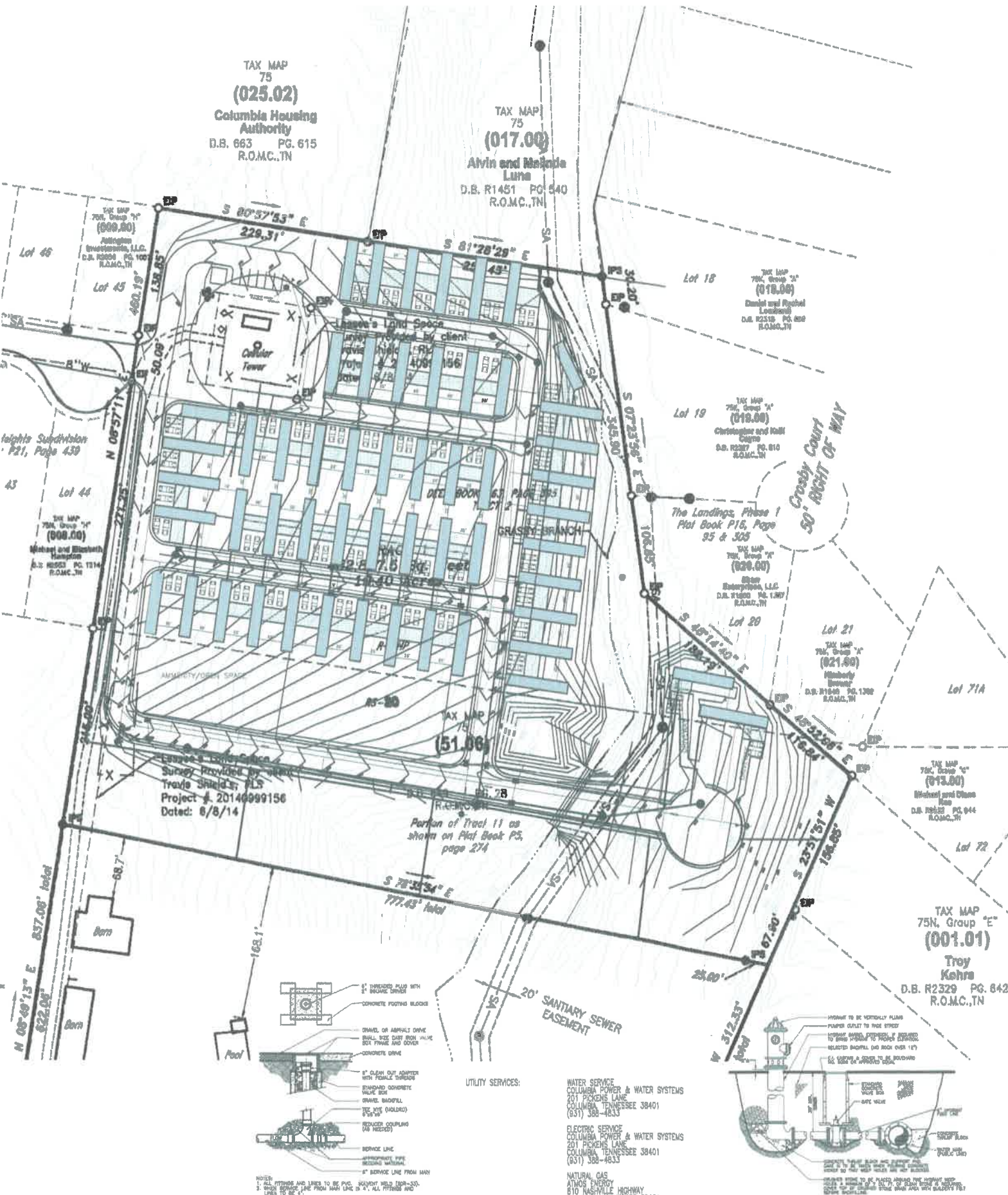
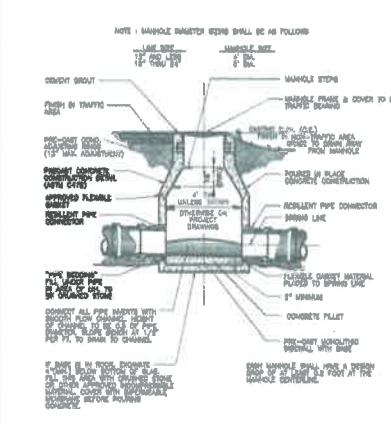
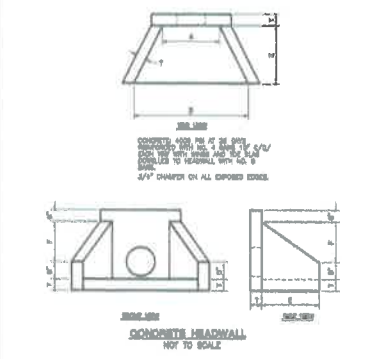


SEE PROJECT SPECIFICATIONS FOR TRENCHING BEDDING, PIPELAYS, BACKFILLING, TRAFFIC SURFACE REPAIR AND OTHER PERTINENT REQUIREMENTS IN TRAFFIC AREAS.



**TABLE OF DIMENSIONS**

12"	12"
18"	18"
24"	24"
30"	30"
36"	36"
42"	42"
48"	48"
54"	54"
60"	60"
66"	66"
72"	72"
78"	78"
84"	84"
90"	90"
96"	96"
102"	102"
108"	108"
114"	114"
120"	120"
126"	126"
132"	132"
138"	138"
144"	144"
150"	150"
156"	156"
162"	162"
168"	168"
174"	174"
180"	180"
186"	186"
192"	192"
198"	198"
204"	204"
210"	210"
216"	216"
222"	222"
228"	228"
234"	234"
240"	240"
246"	246"
252"	252"
258"	258"
264"	264"
270"	270"
276"	276"
282"	282"
288"	288"
294"	294"
300"	300"
306"	306"
312"	312"
318"	318"
324"	324"
330"	330"
336"	336"
342"	342"
348"	348"
354"	354"
360"	360"
366"	366"
372"	372"
378"	378"
384"	384"
390"	390"
396"	396"
402"	402"
408"	408"
414"	414"
420"	420"
426"	426"
432"	432"
438"	438"
444"	444"
450"	450"
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462"	462"
468"	468"
474"	474"
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492"	492"
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564"	564"
570"	570"
576"	576"
582"	582"
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594"	594"
600"	600"
606"	606"
612"	612"
618"	618"
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630"	630"
636"	636"
642"	642"
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1014"	1014"
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1032"	1032"
1038"	1038"
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1062"	1062"
1068"	1068"
1074"	1074"
1080"	1080"
1086"	1086"
1092"	1092"
1098"	1098"
1104"	1104"
1110"	1110"
1116"	1116"
1122"	1122"
1128"	1128"
1134"	1134"
1140"	1140"
1146"	1146"
1152"	1152"
1158"	1158"
1164"	1164"
1170"	1170"
1176"	1176"
1182"	1182"
1188"	1188"
1194"	1194"
1200"	1200"

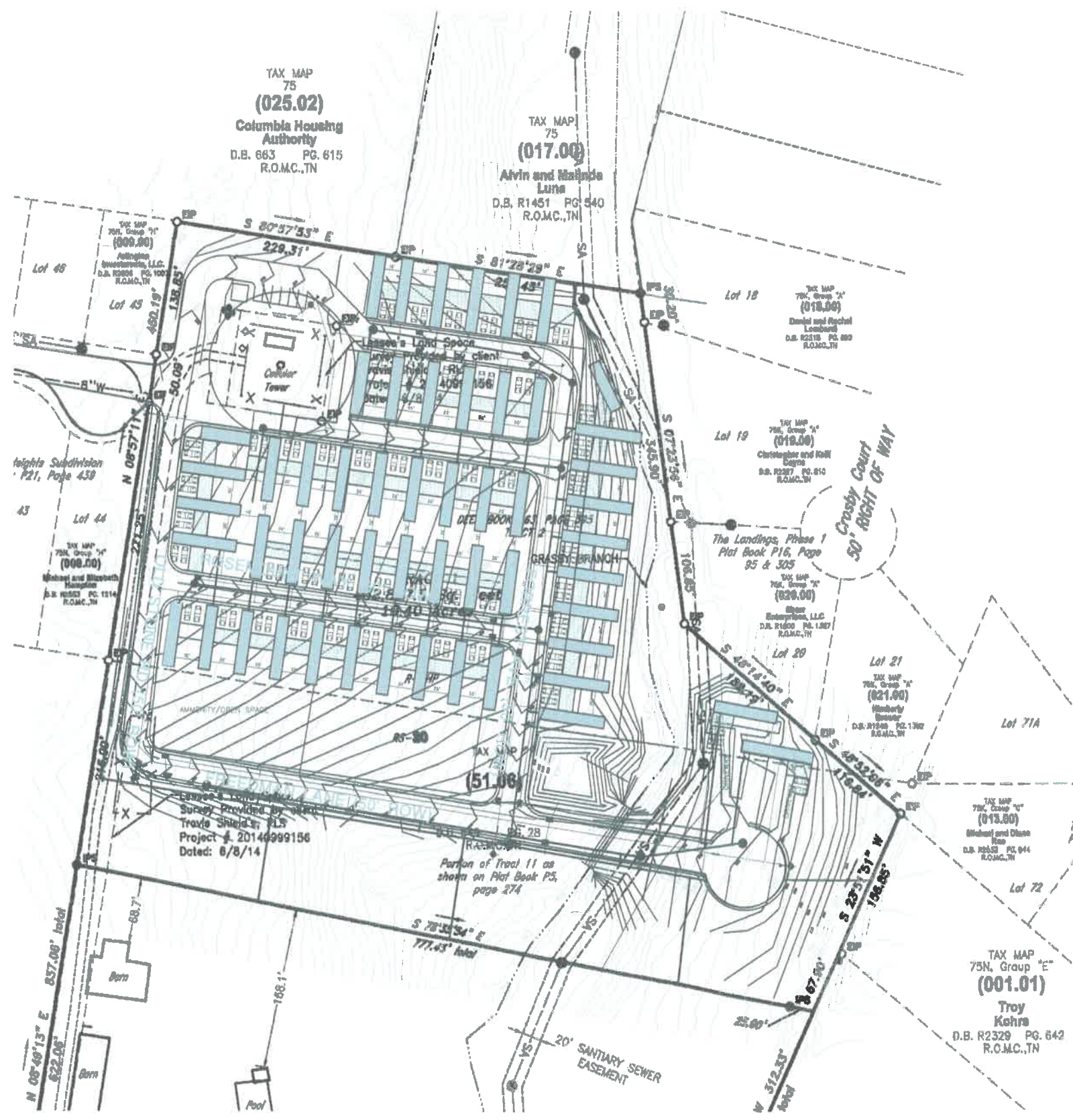


**LEGACY AT HIGHLAND ESTATES**  
WILLIS WAY  
MAURY COUNTY, COLUMBIA TENNESSEE

GRADING, DRAINAGE, EROSION CONTROL & UTILITY PLAN

REVISIONS
DESIGNED BY: J. GRAY
DRAWN BY: J. GRAY
APPROVED BY: J. GRAY
SCALE: As Shown
DATE: DECEMBER 20, 2021
JOB NO. WK. ORDER 2021-12 001
SHEET NO. C2





AS THE DESIGN ENGINEER RESPONSIBLE FOR THE DEVELOPMENT OF THESE PLANS, I DO HEREBY CERTIFY THAT THIS DEVELOPMENT WILL DISTURB ONE (1) OR MORE AREAS, AND A N.E.C. IS REQUIRED TO BE FILED WITH THE STATE OF TENNESSEE.

*[Signature]* 12-20-21  
ENGINEER DATE

JARED GRAY, PE, CERTIFIED EROSION CONTROL SPECIALIST, HAS REVIEWED THE PLAN FOR SUFFICIENT ON SITE TEMPORARY EROSION AND SEDIMENT CONTROL PROVISIONS. ADDITIONAL MEASURES MAY BE REQUIRED AS FIELD CONDITIONS WARRANT.

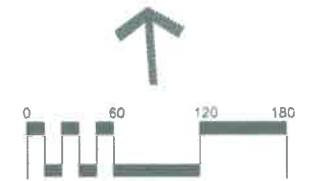
*[Signature]* 12-20-21  
EROSION CONTROL SPECIALIST DATE

**EROSION/SILTATION CONTROL NOTES**

- AREAS AND TIME OF EXPOSURE OF UNPROTECTED SOILS SHALL BE KEPT TO A MAXIMUM OF 15 DAYS.
- KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- USE TEMPORARY VEGETATION AND/OR MULCH TO PROTECT BARE AREAS FROM EROSION DURING CONSTRUCTION.
- NO OTHER WORK WILL BE INITIATED ON THE PROJECT UNTIL THE EROSION/SILTATION MEASURES SHOWN ON THE PLANS AND DETAILS ARE PROPERLY IN PLACE.
- EROSION CONTROL SHOWN THUS ARE TO BE USED AS TEMPORARY SEDIMENT BARRIERS. FENCING IS TO BE PLACED IN TRENCH AND FIRMLY ANCHORED TO THE GROUND WITH STAKES AS SHOWN IN DETAIL.
- DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED ON PLAN TO SEDIMENT BARRIERS DURING AND UPON COMPLETION OF CONSTRUCTION.
- ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6-INCH DEPTH TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL WILL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 8-12-12 FERTILIZER, 5 POUNDS OR MORE OF KENTUCKY 31 PESCUE SEED PER 1000 SQUARE FEET AND A STRAW MULCH OF 70X-80X COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET) EXCEPT AS OTHERWISE DETERMINED BY PLAN.
- UPON STABILIZATION OF THE PROJECT SITE WITH A GOOD (ACCEPTABLE) STAND OF GRASS AND/OR GROUND COVER, THE EROSION/SILTATION INSTALLATIONS WILL BE REMOVED AND THE AREA DISTURBED WILL BE SEEDED AND MULCHED WITH THE SAME TREATMENT AS OTHER NEW GRASSSED AREAS OF THE PROJECT.
- A STONE ACCESS RAMP IS TO BE CONSTRUCTED AT THE SITE ENTRANCE WITH A MINIMUM WIDTH OF 20 FEET AND MINIMUM LENGTH OF 100 FEET. RAMP IS TO BE BASED WITH 8 INCHES OF ASTM D 448, SIZE NO. 1 STONE, AND MAINTAINED THROUGHOUT CONSTRUCTION.
- PRIOR TO THE ISSUANCE OF A GRADING PERMIT, ALL EROSION/SILTATION CONTROL MEASUREMENTS INDICATED ON THE PLANS SHALL BE INSTALLED.
- ALL STEEP SLOPES SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
- SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AFTER FINAL STABILIZATION.



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**LEGACY AT HIGHLAND ESTATES**

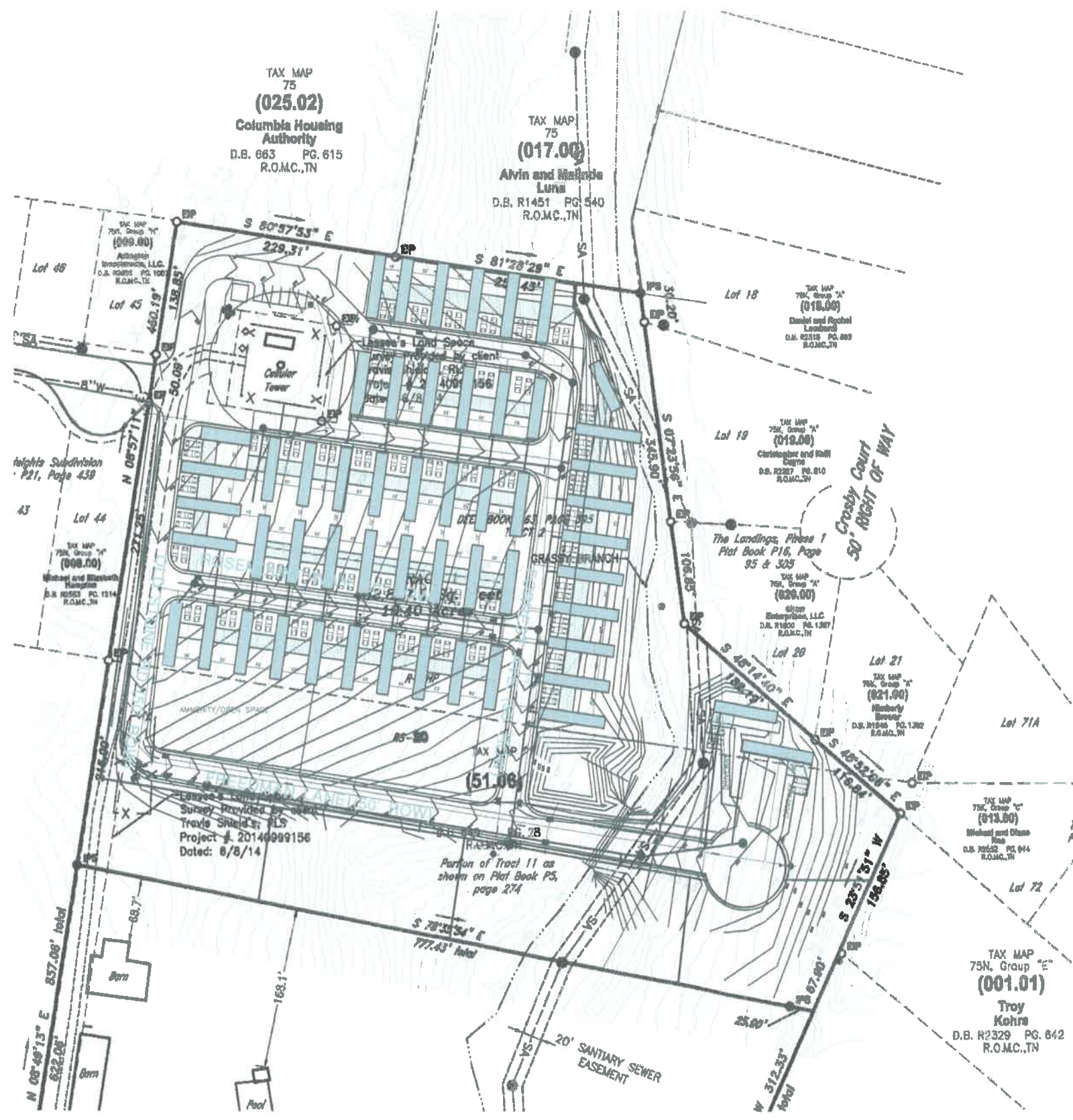
WILLIS WAY  
MAURY COUNTY, COLUMBIA TENNESSEE

STORMWATER PLAN INTERMEDIATE

**REVISIONS**

DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001

SHEET NO.  
**C4**



TAX MAP  
75  
**(025.02)**  
Columbia Housing  
Authority  
D.B. 663 PG. 615  
R.O.M.C.,TN

TAX MAP  
75  
**(017.00)**  
Alvin and Raquelle  
Luna  
D.B. R1451 PG. 540  
R.O.M.C.,TN

TAX MAP  
75, Group "A"  
**(018.00)**  
Daniel and Rachel  
Lambert  
D.B. R2318 PG. 809  
R.O.M.C.,TN

TAX MAP  
75, Group "A"  
**(019.00)**  
Christopher and Hall  
Cayne  
D.B. R2387 PG. 810  
R.O.M.C.,TN

TAX MAP  
75, Group "A"  
**(020.00)**  
The Landings, Phase 1  
Flat Book P16, Page  
95 & 325  
D.B. R2480 PG. 1387  
R.O.M.C.,TN

TAX MAP  
75, Group "K"  
**(021.00)**  
Marilyn  
Brewer  
D.B. R2488 PG. 1392  
R.O.M.C.,TN

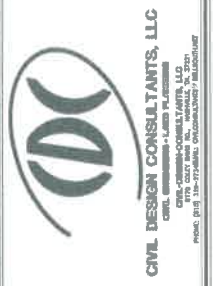
TAX MAP  
75, Group "C"  
**(013.00)**  
Michael and Diane  
Pao  
D.B. R2329 PG. 842  
R.O.M.C.,TN

TAX MAP  
75N, Group "E"  
**(001.01)**  
Troy  
Kehrs  
D.B. R2329 PG. 842  
R.O.M.C.,TN

Survey Provided by  
Troxie Shields, PLS  
Project # 20140999156  
Dated: 6/8/14

Partion of Tract 11 as  
shown on Plat Book P5,  
page 274

**STORMWATER MAINTENANCE NOTE:**  
HOME OWNERS ASSOCIATION SHALL MAINTAIN STORMWATER FACILITIES AS PER  
REQUIRED BY TDEC AND THE CITY OF COLUMBIA AS NOTED IN THE  
RECORDED LONG TERM MAINTENANCE PLAN.



# LEGACY AT HIGHLAND ESTATES

WILLIS WAY  
MAURY COUNTY, COLUMBIA TENNESSEE

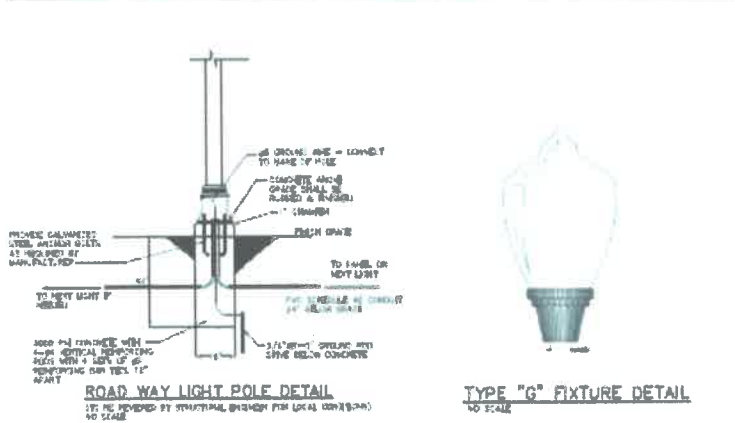
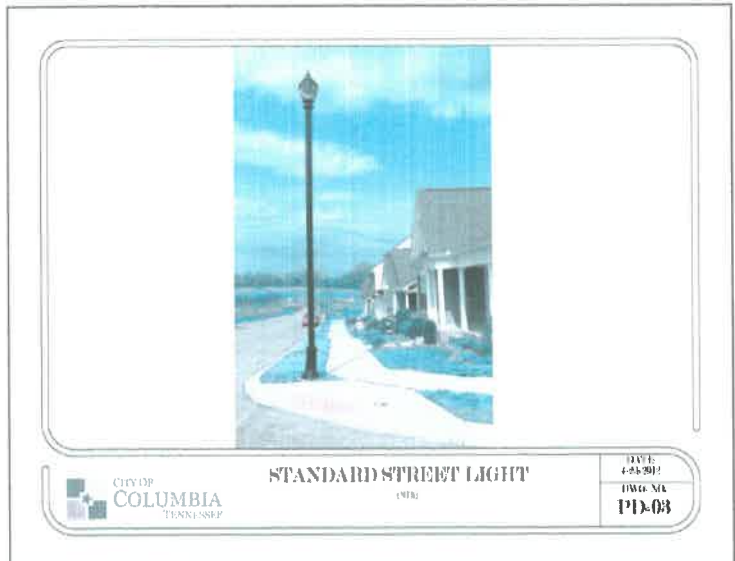
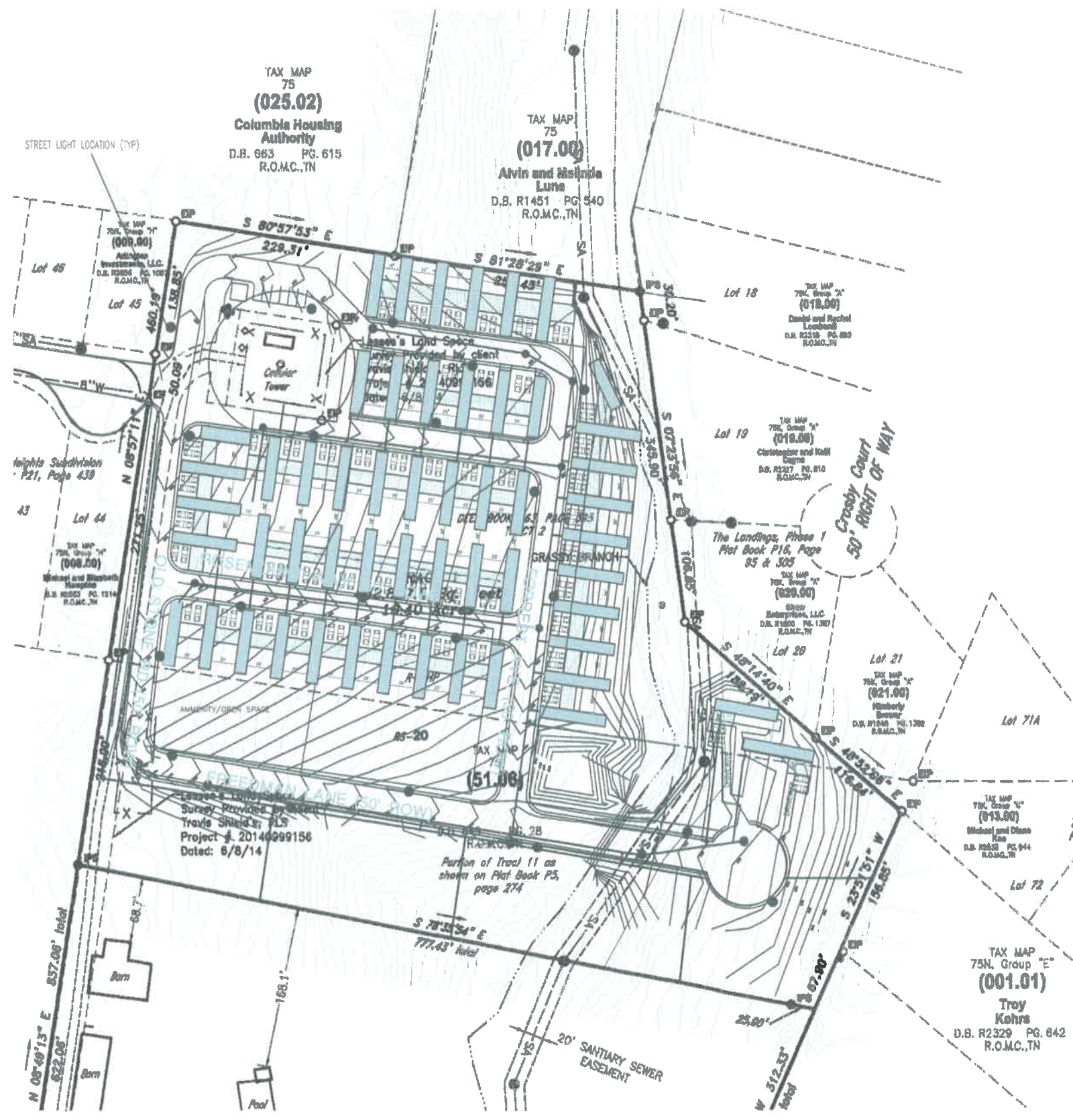
STORMWATER PLAN FINAL

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001

SHEET NO.  
**C5**



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1-615-366-1987  
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00	02	02	02	02	02	03	03	02	02	01	01
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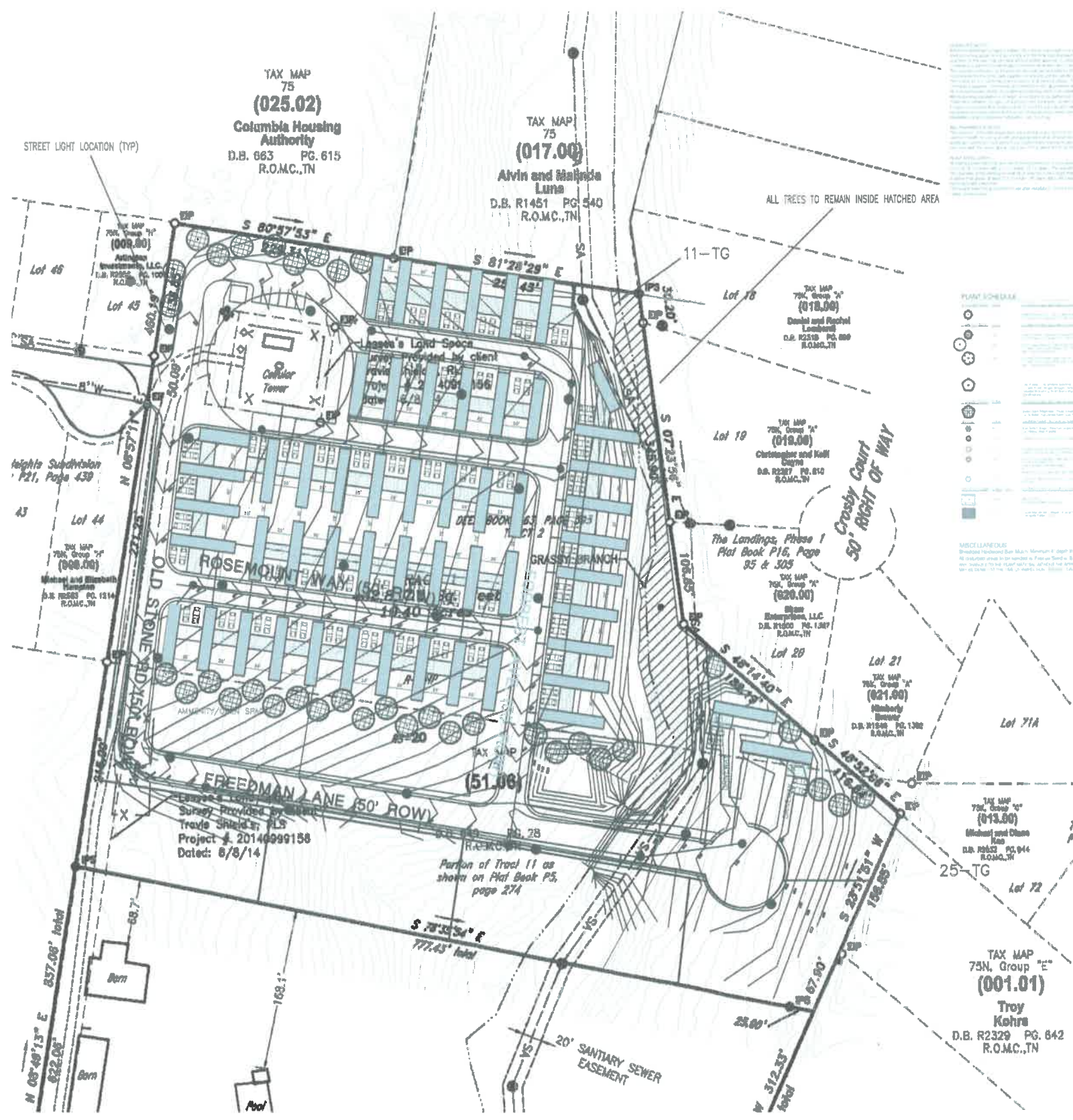
APPROXIMATE FOOTCANDLE PER FIXTURE



**LEGACY AT HIGHLAND ESTATES**  
WILLIS WAY  
MAURY COUNTY, COLUMBIA TENNESSEE

SITE PHOTOMETRIC PLAN

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001
SHEET NO.	C6



TAX MAP 75  
**(025.02)**  
Columbia Housing Authority  
D.B. 883 PG. 615  
R.O.M.C., TN

TAX MAP 75  
**(017.00)**  
Alvin and Malinda Luna  
D.B. R1451 PG. 540  
R.O.M.C., TN

ALL TREES TO REMAIN INSIDE HATCHED AREA

PLANT SCHEDULE

Symbol	Plant Name
Circle with cross	...
Circle with dot	...
Circle with horizontal lines	...
Circle with vertical lines	...
Circle with diagonal lines	...
Circle with wavy lines	...
Circle with concentric circles	...
Circle with irregular pattern	...

MISCELLANEOUS

Shaded hatched area shall remain in place. Do not disturb.

Unshaded area is to be graded to finish ground level.

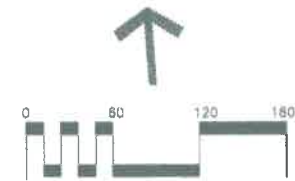
See notes for details of construction and materials.

The minimum width of a landscaped zone is 5 feet, excluding curb dimensions. The pooling of such landscaped areas to create more significant landscape zones shall be required.

The minimum area of a landscaped zone is 75 square feet. For every 250 square feet of landscape area, one tree must be planted. These 250 square feet landscaped areas or zones shall be saturated with profuse groundcover and/or bushes and shrubs. Grass in and of itself shall not be considered as meeting these landscaping requirements.

FENCING NOTE: ENTIRE BOUNDARY OF R-MHP SHALL BE SURROUNDED BY A OPAQUE 6' TALL MINIMUM FENCE. FENCE IS TO BE MAINTAINED BY HOA ORNAMENTAL SHRUBS SHALL BE PLANTED IN BETWEEN THE UNITS AS REQUIRED BY CITY REGULATIONS.

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1-615-366-1987  
TENNESSEE ONE CALL  
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# LEGACY AT HIGHLAND ESTATES

WILLIS WAY  
MAURY COUNTY, COLUMBIA TENNESSEE

SITE LANDSCAPE ARCHITECTURE PLAN

REVISIONS	
DESIGNED BY:	J. GRAY
DRAWN BY:	J. GRAY
APPROVED BY:	J. GRAY
SCALE:	As Shown
DATE:	DECEMBER 20, 2021
JOB NO.	2021-12
WK. ORDER	001
SHEET NO.	L1

**STAFF REPORT CONTACT INFORMATION**

Austin Brass, City Planner, [abrass@columbiatn.com](mailto:abrass@columbiatn.com) , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**21-0195**

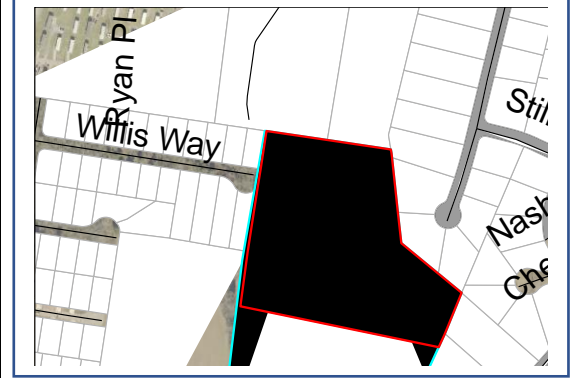
APPLICANT/PROPERTY OWNER  
**Civil Design Consultants / Alvin Luna**

PUBLIC HEARING DATE  
**N/A**

PROPERTY ADDRESS/LOCATION  
**Willis Way/ Map 075 Parcel 51.06**

**SUMMARY OF REQUEST: Site Plan Approval (Manufactured Home Park).**

This request is for the site plan approval of a 54-lot manufactured home park (*Legacy at Highland Estates*). The property has a zoning of RMHP (*Residential Manufactured Home Park*) and RS-20 (*Low-Density Residential*).



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RS-20 ( <i>Low-Density Residential</i> ); R-MHP ( <i>Residential Mobile Home Park</i> ).	Vacant Land	R (RS-10); RM-1 (Multi-Family) RS-20/ RS-40	54 Lot Manufactured Home Park	10.40 +/- acres

**COMPATIBILITY with the COMPREHENSIVE PLAN:**

**Suburban Neighborhood.** This future land use characterized for the subject property includes low density single-family residential where infrastructure is available to support new development.

**PROPERTY HISTORY:**

November 10th, 2021. 21-0199. Request from Civil Design Solutions for the annexation and plan of services for tax map 075, parcel 51.06 & 17 from R-MHP (*Manufactured Home Park*) to RS-10. Denied recommendation by Planning Commission.

September 8th, 2021. 21-0174. Request from Civil Design Solutions for the annexation and plan of services for tax map 075, parcel 51.06 & 17 from R-MHP (*Manufactured Home Park*) to R-6 (*medium-density residential*). Denied recommendation by Planning Commission.

July 14th, 2021. 21-0119. Request from Civil Design Solutions for the annexation and plan of services for tax map 075, parcel 51.06 & 17 from R-MHP (*Manufactured Home Park*) to RM-1 (*high-density residential*). Denied recommendation by Planning Commission.

**COMPATIBILITY** with the ZONING ORDINANCE/STAFF COMMENTS:

As highlighted in section 8.3.2 below; this proposed manufactured home park would not meet the criteria of the limited use standards in that the stand layout does not indicate the minimum setback of 10' feet from the nearest edge of the street and that the manufactured home does not indicate that it will cover more than 25% of the manufactured home stand (lot). Proposed lots are shown on the site plan within the section of the property that is zoned RS-20 that do not indicate proposed use. Two additional mobile homes pads are shown with access from a proposed right-of-way outside the confines of the manufactured home park. Any proposed residential use on these lots would be required to follow the minimum RS-20 building setbacks with a 30' front and rear setback when including a 15' side setback.

Landscaping/Buffering:

Article 11.2.7 of the City of Columbia Zoning Code highlights the required buffering opacity between this zoning district of R-MHP and RS-10 as having a 0.6/ 25' wide landscaping buffer. This landscape buffer shall be provided on the east and west property lines. A 0.4/ 15' wide landscape buffer shall be provided on the north property line abutting an RM-1 Zoning District, and 0.6/ 25' landscape buffer shall be provided for the manufactured home park property abutting an RS-40 Zoning District. The Manufactured Home Park Zoning abutting an RS-20 Zoning District to the south shall provide a 15' wide landscaping buffer. In addition to 11.2.7, the zoning code has additional requirements (11.2.7 B) that projects in the R-MHP District provide a continuous, opaque fence at least eight feet in height. No landscape buffer or fence has been shown on this master site plan.

Parking:

The parking ratio for the development requires 1 parking stall per unit. Adequate parking has been indicated.

Amenities:

No specific amenities have been indicated in this proposed manufactured home park. An amenity lot has been shown in the RS-20 zoned section of the parcel that is not part of the manufactured home park under review.

See additional Technical Comments attached.

**MANUFACTURED HOME STAND:** That part of an individual manufactured home space which has been reserved for the placement of the manufactured home.

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

**Section 8.3.2 Limited Use Standards for Residential Uses. Manufactured Home Parks**

**Commentary:** *Manufactured home parks should be designed and constructed to the same standards as a site-built subdivision to assure a safe, healthy residential environment.*

Manufactured home parks shall be permitted in accordance with the use table in Sec. 8.1, subject to the following:

**General**

- a. Applications for a multi-family dwelling shall be subject to the Site Development Plan Review requirements of Sec. 3.5 and shall require Planning Commission approval.
- b. Where permitted, manufactured homes shall be located to minimize hazards due to possible subsidence, flood or erosion, or insect or rodent infestation.
- c. Landscaping and buffering shall be provided in conformance with Article 11. A planting plan shall be submitted with the final site development plan.

**Services and Facilities 2.**

Publication "NCSBCS Standard for Manufactured Home Installations" (ANSI A 225.1 – 1982) including NFPA Standard for Fire safety Criteria for Manufactured Home Installations, Sites and Communities (NFPA 501A – 1982), which is hereby adopted by reference.

- a. Each manufactured home park shall be served by a public water supply of adequate quantity, quality and pressure. Adequate fire protection, as determined by the Municipal Fire Department, shall be provided for each manufactured home located within the park.
- b. Each and every manufactured home within a manufactured home park shall be served by a central sewage collection and treatment system.
- c. Solid waste collection stands shall be provided for waste facilities. Such stands shall be so designed as to prevent containers from being tipped, to minimize spillage and container deterioration, and to facilitate cleaning around them. Stands shall be screened in accordance with Sec. 12.5, Screening.
- d. Service buildings housing sanitation and laundry facilities shall be permanent structures complying with all applicable ordinances and statutes regulating buildings, electrical installations, and plumbing and sanitation systems.
- e. All manufactured home sites shall be located within reasonable proximity to a fire hydrant or similar fire protection facilities.

**Access and Circulation 3.**

- a. A safe, convenient, all season pedestrian circulation system shall be provided and maintained between locations where pedestrian traffic is concentrated. Such common walks shall have an adequate gradient and a minimum width of three feet.
- b. Direct vehicular access to the manufactured home park shall be provided by means of an abutting improved public street or way and access to each manufactured home stand shall be by a permanently maintained private street or way which is protected by a permanent easement. Sole vehicular access shall not be by an alley.
- c. All vehicular use areas used for common access for two or more residents shall be suitably paved and maintained as a condition of approval of the project.

**The Individual Manufactured Home Lot**

- a. The limits of each manufactured home lot shall be marked on the ground by suitable means. Location of lot limits on the ground shall be the same as shown on accepted plans.
- b. Manufactured homes shall have a minimum side-to-side clearance of 25 feet and a minimum end-to-end clearance of 15 feet.

**Site plan based off of typical lot submitted does indicate that manufactured homes will have a minimum side-to-side clearance of 25 feet; however, one lot does indicate a side to side clearance of only 18'.**

- c. There shall be a minimum distance of ten feet between the nearest edge of any manufactured home stand and an abutting street.

***Site plan based off of typical lot does not indicate that manufactured homes will have a minimum 10-foot setback from nearest edge to abutting street.***

- d. Manufactured home lot coverage may not exceed 50%. The manufactured home stand may not cover more than 25% of the lot.

***Site plan based off does not indicate that manufactured home will not cover more than 25% of the lot.***

- e. Each manufactured home lot shall be provided with an outdoor living and service area. Such area shall be improved as necessary to assure reasonable privacy and comfort. The minimum area shall not be less than 300 square feet with a minimum dimension of 15 feet. This area shall not be counted towards required Open Space
- f. All manufactured home stands shall be connected to common walks, streets, driveways, garages, and parking spaces by individual walks. Such individual walks shall have a minimum width of two feet and be constructed of concrete, pavers, or similar dust-free, all-weather material.  
Sec.



**STAFF REPORT CONTACT INFORMATION**

Kevin McCarthy, Planning Associate II, [kmccarthy@columbiatn.com](mailto:kmccarthy@columbiatn.com) , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**22-0012**

APPLICANT/PROPERTY OWNER  
**Ross Lucas, Fulmer Lucas Engineering / Bernie Rees**

PUBLIC HEARING DATE  
**N/A**

PROPERTY ADDRESS/LOCATION  
**194 Theta Pike, Tax Map 090B Parcel 46.00**

**SUMMARY OF REQUEST: Rezoning from GCS to RM-1**

This request is for rezoning of 11.58 +/- acres from General Commercial Service (GCS) to High Density Residential (RM-1). The subject site is the vacant portion of a larger parcel. Existing improvements and uses are to remain on a separate 3.4 +/- acre parcel which will retain GCS zoning. The proposed RM-1 zoning is consistent with the Urban Corridor future land use; however, the property is not located in an Area of Change. Access to the site is via Theta Pike.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
General Commercial Service (GCS)	Vacant Land/ Commercial (Retail Sales and Service)	RM-1/ R-20/GCS (Single Family, Religious Facilities, Commercial)	Concept plan indicates 138 units of multifamily housing	11.58 +/- acres

**COMPATIBILITY with the COMPREHENSIVE PLAN:**

**Urban Corridor.** The future land use character area supports high density residential uses. The plan calls for a wide-range of land uses and emphasizes access control, connectivity, and context-responsive development. The general pattern is largely urban and the appropriateness of a specific development within the Corridor relies on the Area of Change designation.

The proposed RM-1 zoning is consistent with the future land use designation but is located outside of an Area of Change.

**PROPERTY HISTORY:**

The current owner of record, BKR ENTERPRISES LLC, acquired the property in March 2017. The subject property is part of a larger 15.2 +/- parcel. Existing improvements on the property consist of a 3,800 square foot commercial building constructed in 2019. The structure is located on the southern portion of the property and is currently utilized as a conforming retail sales and service use, specifically, as an “athletic, tennis, swim or health club.” According to the Applicant’s concept, the existing improvements are to remain on a separate 3.4 +/- acre parcel which will retain its current GCS zoning. The 11.58 +/- acre portion of the property that is the subject of this proposal is currently vacant; historic maps indicate that the property has been vacant since at least 1965.

**COMPATIBILITY** with the ZONING ORDINANCE/STAFF COMMENTS:

**Zoning Ordinance Referenced:** (*Proposed Rezoning from GCS to RM-1 Zoning District*)

In support of this annexation and zoning request, the applicant submitted a concept plan depicting 138 apartments built to physically resemble townhomes. The concept includes 27 residential structures with associated parking, landscaping, amenities, and a gated entrance.

**Article 8: Use Regulations**

Multifamily dwellings are permitted in an RM-1 zone (Section 8.1), subject to the minimum conventional development standards in Section 6.3.8 of the Ordinance. Multifamily dwellings are subject to additional limited use standards under 8.3.2.E.

**Article 6: Development Standards**

The applicant's concept plan, as revised following technical comments from staff, generally conforms to the standards of the Ordinance. If City Council approves this rezoning, specific plans for development will be reviewed by the planning commission as part of a multifamily site plan under 3.5.3.B.3.b.

*Article 6.3.8 District Development Standards for RM-1*

- Variety of housing types permitted.
- 35' minimum street setback (potential additional setback based on average of adjacent)
- Building separation between 20' and 50'.

**Article 10: Parking Standards**

Minimum parking requirements are listed under Article 10 of the Ordinance. The applicant's concept plan indicates that the required parking could be provided on the site if developed as multifamily dwellings at the density proposed.

**Article 11: Landscape Standards**

The applicant's concept plan depicts landscape buffers along boundaries and rights-of-way that appear to meet the standards prescribed in Sections 11.2.7 and 11.2.6. Staff will review any subsequent development proposal to ensure adherence with the standards referenced below (existing buffers will likely reduce the requirement).

- Collector Road (i.e. Theta Pike): Canopy trees within a landscaped buffer with an average width of 10' with no portion less than 5'.
- RM-1 adjacent to developed RM-1 (i.e. northern portion of concept plan): up to 15' wide buffer with a 0.40 opacity.
- RM-1 adjacent to developed GCS (i.e. southern portion of concept plan): up to 30' wide buffer with a 0.80 opacity
- RM-a adjacent to developed R-20 (i.e. southeastern and eastern portion of concept plan): up

to 25' wide buffer with a 0.60 opacity.

**Connectivity**

The concept plan shows connectivity of this site via a single gated access point on Theta Pike

ATTACHMENTS (CIRCLE)

SUBMITTED PLANS

CITY MAPS

LEGAL NOTICE

LEGAL DESCRIPTION

PUBLIC COMMENTS

AGENCY COMMENTS

RESPONSE TO STANDARDS

3.18.7 ACTION BY THE PLANNING COMMISSION FOR REZONING'S

Staff's review of Section 3.18.7(B) in relation to this rezoning request finds the following:

1. The rezoning agrees with the general plan for the area;

The Comprehensive Plan (Connect Columbia) designates the subject property as "Urban Corridor". The classification is characterized by "a more citified" mix of uses, including high density residential (Connect Columbia p. 28). The requested RM-1 High Density Residential zoning designation is consistent with the future land character area.

The subject parcel is not located within an Area of Change under the Comprehensive Plan (Connect Columbia Map 3). The Urban Corridor Character Area Matrix indicates that changes to the overall character of the area should rarely occur. New development that does occur should be emphasize access control, connectivity, and context-responsive development (Connect Columbia p. 29).

2. The legal purposes for which zoning exists are not contravened;

All future development will be required to conform to the zoning ordinance standards in effect at that time; therefore, legal purposes for which zoning exists will not be contravened.

3. There will be no adverse effects upon adjoining property owners;

The subject property is surrounded by a compatible mix of uses with no foreseeable adverse effects upon adjoining properties.

4. No one property owner or small group of property owners will benefit materially from the change to the detriment of the general public;



CITY OF COLUMBIA TENNESSEE  
PLANNING COMMISSION  
STAFF REPORT

Although the proposed rezoning will benefit a specific property owner, it is consistent with the duly adopted Comprehensive Plan (Connect Columbia) and is therefore not detrimental to the general public.

5. Conditions affecting the area have changed to a sufficient extent to warrant an amendment to City's Zoning Map.

The demand for housing within the city limits has increased to a sufficient extent to warrant the addition of high-density residential areas to the City's Zoning Map in order to fulfill that demand.

6. There are adequate schools, roads, parks, wastewater treatment facilities, water supply, and storm water drainage facilities to support this zoning change.

No reports from any facilities that the zoning request cannot be serviced (applicant provided a will serve letter from CPWS dated January 5, 2022).

REVISED 3-8-22



**Transmittal Letter**

To: Paul Keltner

Date: March 21, 2022

Company: City of Columbia TN

Project No.: 210009

Address: 700 N Garden Street

Project Phase: Honey Farms Phase 1A,1B, &3 Preliminary Plat and Revised Final PUD Master Plan

City, State: Columbia, TN 38401

Project: Honey Farms Phase 1A, 1B, 3 Preliminary Plat and Revised Honey Farms Final PUD Master Plan

**We are sending:**

- Letter
- Drawings
- Contract
- Specifications
- Change Order
- Other
- Mail
- Courier
- Overnight

**Purpose:**

- Approval
- Your Use
- Your Records
- Review & Comment
- As Requested
- Bids Due

Description	Sets
Honey Farms Phase 1A, 1B, 3 Preliminary Plat	1
Revised Honey Farms Final PUD Master Plan	1
Supplemental Detailed Clubhouse Plans	1
Comment Responses from City Tech Review	1
Digital copies on thumb drive	See attached
Enter text here	Enter text here

Copies to: City of Columbia

From: Eric McNeely

**STAFF REPORT CONTACT INFORMATION**

Austin Brass, City Planner, [abrass@columbiatn.com](mailto:abrass@columbiatn.com) , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER  
**22-0033**

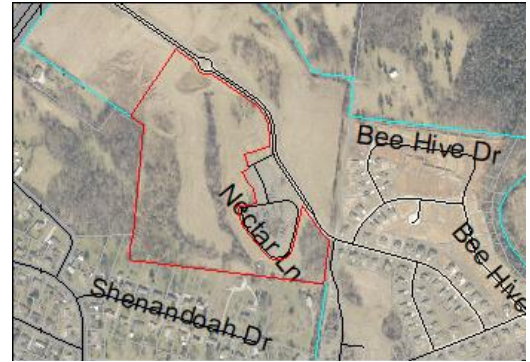
APPLICANT/PROPERTY OWNER  
**McNeely Civil Engineering/ TN Honey Farms LLC.**

PUBLIC HEARING DATE  
**N/A**

PROPERTY ADDRESS/LOCATION  
**Honey Farms PUD/ Tax Map 51 Parcel 38.02**

**SUMMARY OF REQUEST: Planned Unit Development Preliminary Plat and Final Master Development Plan (Phases 1, A, B, &3).**

This request is for the preliminary plat approval for phases 1A, 1B, & 3 consisting of 174 townhome units.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RM-1 PUD (High Density Planned Unit Development)	Townhomes	CEG PUD/ RM-1 PUD	174 Townhome Units	29.86 +/- acres

COMPATIBILITY with the COMPREHENSIVE PLAN:

**N/A (Previously Approved PUD Master Plan)**

PROPERTY HISTORY:

- 21-0043, Request for final plat for 34-lot attached townhomes, approved.
- 21-0044, Request for final plat approval for phase 2 section 2, approved.
- 21-0045, Request for RM-1 PUD Master Plan revision to allow for a new townhome product type for 240 townhome units.
- 2017-23, Master Plan Revision.
- Rezoning No. 3650, MU PUD, approved in August 2006.
- Annexation No. 1507, RS-40, approved in 1986.

**COMPATIBILITY** with the ZONING ORDINANCE & /STAFF COMMENTS:

A preliminary plat has been submitted to for the development of 174 townhome units. Design of these units consists of a 4 unit building with each unit consisting of a width of 24' per unit and 2 stories. Each unit will have a front loaded 2 car garages. Façade materials approved consisted of fiber cement siding with brick on the front with vinyl cladding on the rear and side elevations. Design elevations of the clubhouse consist of an articulated structure with board and batten cladding with a brick base. This preliminary plat aligns with a previously approved PUD master plan revision (21-0045). Any approval from the Planning Commission would be subject to technical comments as attached.

ATTACHMENTS (CIRCLE)

SUBMITTED  
PLANS

CITY MAPS

LEGAL NOTICE

LEGAL  
DESCRIPTION

PUBLIC  
COMMENTS

AGENCY  
COMMENTS

RESPONSE TO STANDARDS

Section 3.20.12 (D) of the *Columbia Zoning Ordinance*, (CZO) requires the following criteria to be reviewed and specific findings made on the following items (*Final Approval of the Proposed PUD*).

### Final Master Development Plan of A PUD

The application for final approval shall be sufficiently detailed to indicate the ultimate operation and appearance of the development, or portion thereof, and shall include, but not limited to the following:

Final development plan drawings at a scale no smaller than one inch to 200 feet indicating:

- a. The anticipated finished topography of the area involved (contours at vertical intervals as specified by the city engineer but not to exceed five feet.
- b. A circulation diagram indicating the proposed movement of vehicles, goods and pedestrians within the PUD and to and from existing thoroughfares. This shall specifically include: Width of proposed streets; a plan of any sidewalks or proposed pedestrian ways; and any special engineering features and traffic regulation devices needed to facilitate or insure the safety of the circulation pattern.
- c. An off – street parking and loading plan indicating ground coverage of parking areas.
- d. Areas proposed to be conveyed, dedicated, or reserved for parks, parkways, and other public or semi – public open space uses including any improvements which are to be deeded as part of any common use area.
- e. Information regarding the physical characteristics of the surrounding area and developments within 300 feet of the proposed PUD.
- f. A plot plan for each building site and common open area, showing the approximate location of all buildings, structures, and improvements and indicating the open spaces around buildings and structures.
- g. A plan for proposed utilities including sewers, both sanitary and storm, gas lines, water lines, fire hydrants, and electric lines showing proposed connections to existing utility systems. A plan showing the use, height, bulk, and location of all buildings and other structures. Any drawings used to meet this requirement need not be the result of final architectural decisions and need not be in detail.

A generalized land use map and a tabulation of land area to be devoted to various uses and activities.

A tabulation of proposed densities to be allocated to various parts of the area to be developed.

A plan which indicates the location, function, and ownership of all open spaces, excepting those open spaces included in fee simple lots.

Final drafts of all proposed covenants and grants of easement (particularly those pertaining to common open space).

---

**STAFF REPORT** CONTACT INFORMATION

Austin Brass, City Planner, [abrass@columbiatn.com](mailto:abrass@columbiatn.com) , 931-560-1560

DOCKET/CASE/APPLICATION NUMBER

**22-0037**

APPLICANT/PROPERTY OWNER

**T-Square Engineering Inc, NOMAU Partners, LLC.**

PUBLIC HEARING DATE

**N/A**

PROPERTY ADDRESS/LOCATION

**Holiday Lane/ Tax Map 52, Parcel 14.00**

**SUMMARY OF REQUEST: Preliminary Plat**

This request is for a **Preliminary Plat** approval for Homestead at Carters Station South subdivision for 18 single-family lots conforming to all standards of an RS-6 Zoning District.



MAP SOURCE: City GIS

EXISTING ZONING	EXISTING LAND USE	SURROUNDING ZONING & LAND USE	SITE IMPROVEMENTS PROPOSED	SIZE OF PROPERTY
RS-6 (Low-Density Residential)	Vacant Land	RS-6 PUD/ RS-40	Single-Family Residential Homes	6.47 +/- acres

COMPATIBILITY with the COMPREHENSIVE PLAN:

**Suburban Corridor.** This future land use characterized for the subject property includes high and low-density residential uses.

PROPERTY HISTORY:

September 8th, 2021. Request for Annexation & Zoning of RS-6 for Tax Map 52, Parcel 14.00. Recommend Approval.

November 11th, 2021. Request for Annexation & Zoning of RS-6 for Tax Map 52, Parcel 14.00. Approved by City Council.

COMPATIBILITY with the ZONING ORDINANCE/STAFF COMMENTS:

**Zoning Ordinance Referenced: (RS-6 Zoning District)**

Article 6.3.8 District Development Standards

- Minimum of 6,000 SF Lots
- Permits single-family homes. 20' minimum front setback/ 7.5' minimum side setback/ 20' minimum rear setback.
- Minimum 50' lot width.



CITY OF COLUMBIA TENNESSEE  
 PLANNING COMMISSION  
 STAFF REPORT

This preliminary plat consists of a 6.47-acre tract that has an existing zoning of RS-6 (*low-density residential*). Primary connectivity includes an extension of Holiday Lane, with an additional street extension (*Tonklin Court 50' ROW*) terminating into a cul-de-sac. All proposed single-family residential lots conform to the base standards of an RS-6 Zoning district with a minimum lot width of 50'. Please note that lot 12 will be removed from the plat as it does not conform to the zoning regulations being a lot of less than 6,000 SF.

**See additional technical comments attached from fire/utilities/planning & engineering.**

ATTACHMENTS (CIRCLE)

SUBMITTED  
PLANS

CITY MAPS

LEGAL NOTICE

LEGAL  
DESCRIPTION

PUBLIC  
COMMENTS

AGENCY  
COMMENTS

RESPONSE TO STANDARDS

# PRELIMINARY PLAT FOR TAX MAP 52, PARCEL 14.00 HOMESTEAD SOUTH COLUMBIA, TN 38401 CITY OF COLUMBIA, WARD #5 ZONE RS-6

ENGINEER:  T-SQUARE ENGINEERING  
701 WEST MAIN STREET  
FRANKLIN, TN 37064  
615-678-8212

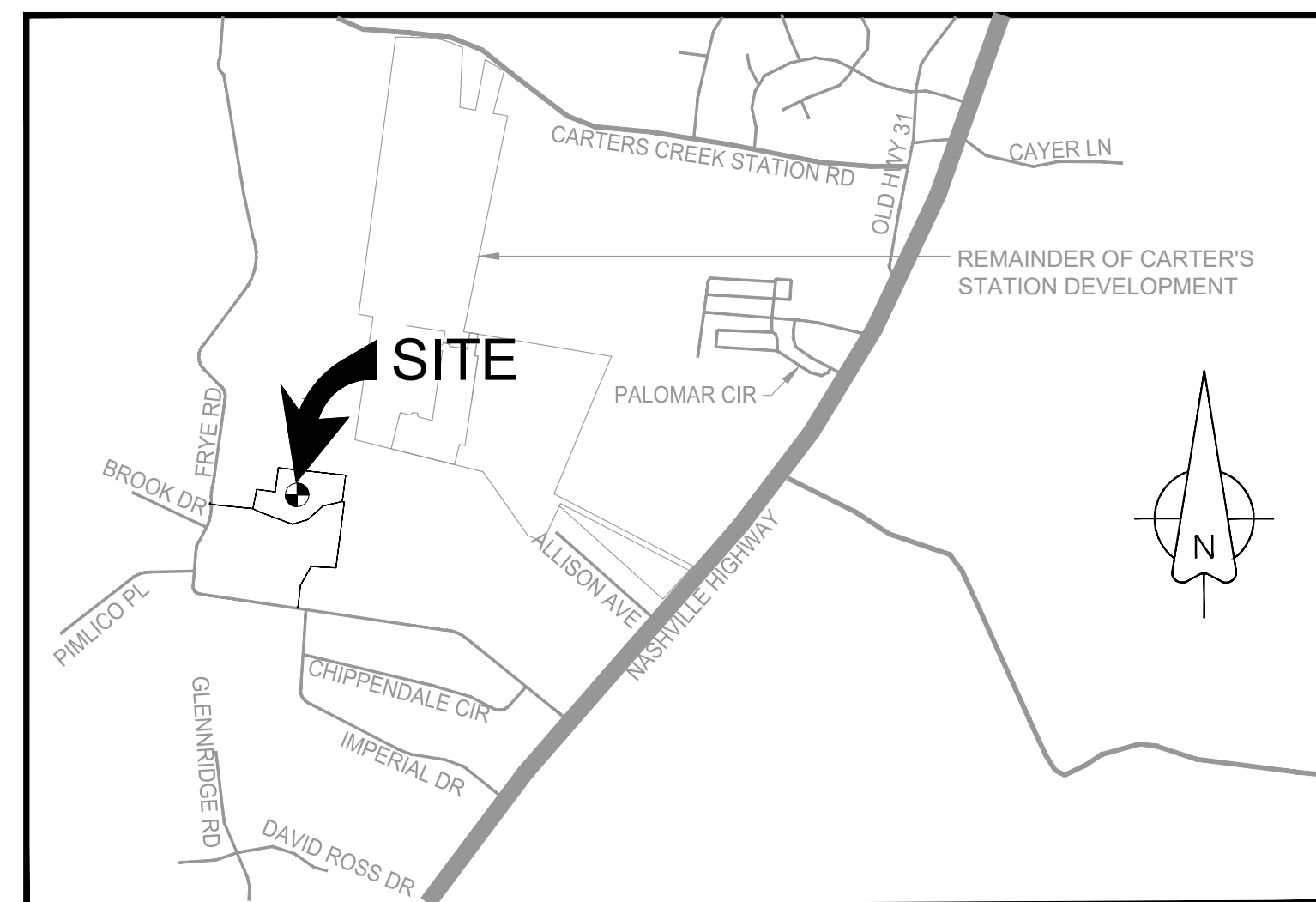
Water: Sloan Delk  
CPWS  
201 Pickens Lane  
PO Box 379  
Columbia, TN 38402  
931-388-4833

Power: Doug Burgess  
CPWS  
201 Pickens Lane  
PO Box 379  
Columbia, TN 38402  
931-388-4833

Surveyor: H & H Land Surveying, Inc.  
612A Fitzhugh Blvd  
Smyrna, TN 37167  
615-831-0756

Topographic Boundary Survey, including property lines, legal description, existing utilities, site topography with spot elevations, outstanding physical features and existing structure locations was provided by the following company:  
H & H Land Surveying, Inc.  
612A Fitzhugh Blvd  
Smyrna, TN 37167  
615-831-0756

Tsquare Engineering and its associates will not be held responsible for its accuracy or for design errors or emissions resulting from potential survey inaccuracies.



**SITE VICINITY MAP**

**SHEET SCHEDULE**

- C-0.0 COVER
- C-1.0 EXISTING CONDITIONS
- C-2.0 OVERALL SITE LAYOUT
- C-2.1 PRELIMINARY PLAT
- C-2.2 PRELIMINARY GRADING PLAN

NO.	DATE	REVISIONS
1	3/21/22	REVISIONS PER CITY COMMENTS

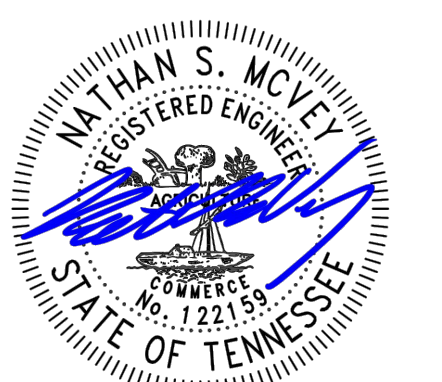
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SCALE: AS SHOWN  
DRAWN BY: T-SQUARE  
REVIEWER: TET

**COVER**  
3RD CIVIL DISTRICT  
MAURY COUNTY, TENNESSEE  
MAP 52, PARCEL 14.00

**HOMESTEAD SOUTH**

FLOOD NOTE  
NO PORTION OF THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS "ZONE X" AS EVIDENCED ON FEMA PANEL # 47119C01190E, REVISED 16 APRIL 2017.

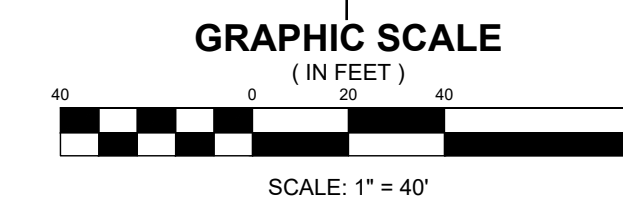
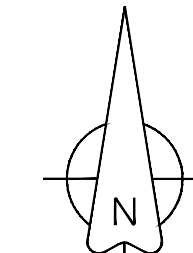
OWNER OF RECORD NOMAJ PARTNERS LLC DEED BOOK: R2570 DEED PAGE: 1409
APPLICANT T-SQUARE ENGINEERING 1329 WEST MAIN ST FRANKLIN, TN 37064 615-678-8212



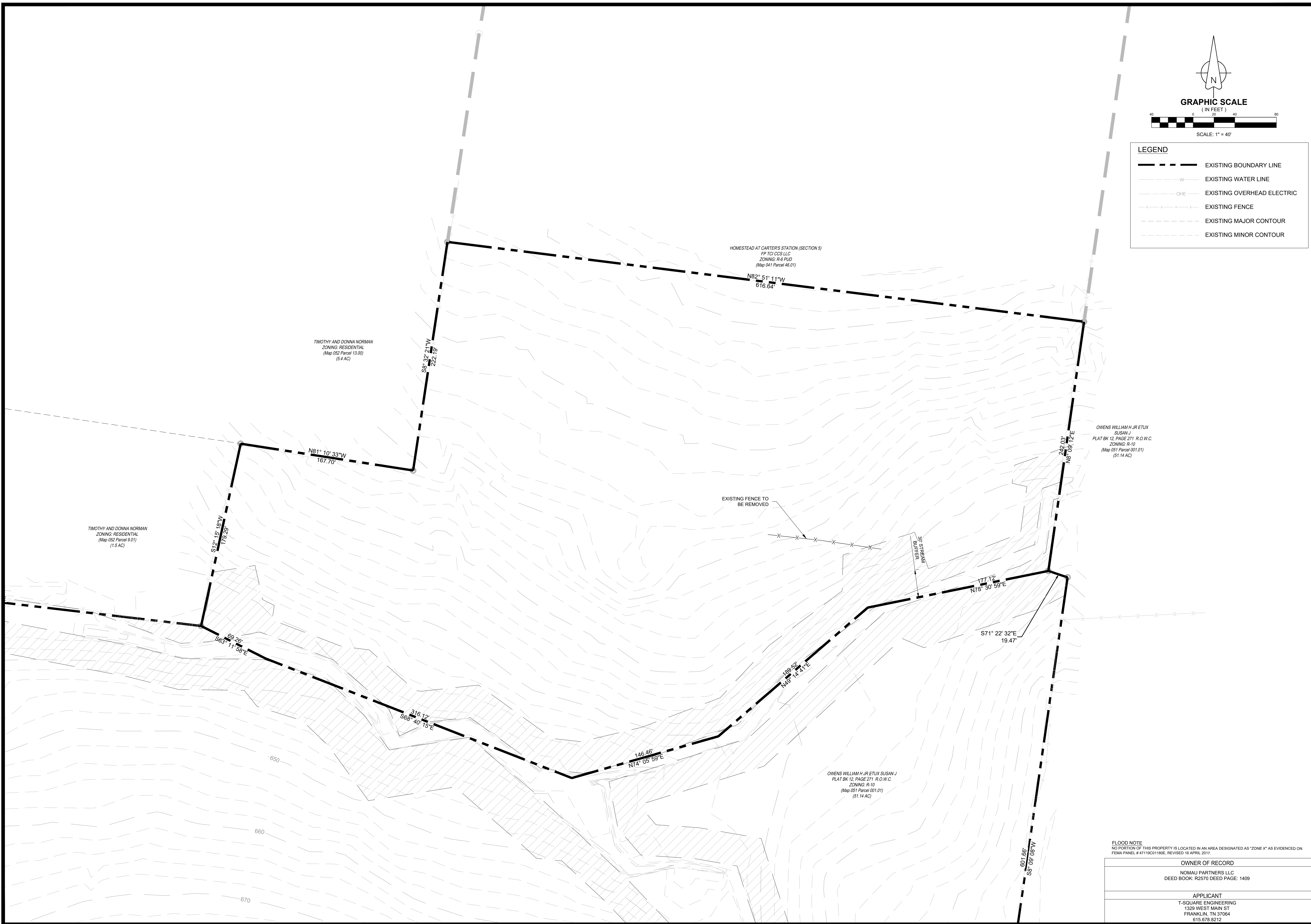
3/21/22

**PROJECT**  
18-0720

**SHEET**  
C-0.0



LEGEND	
	EXISTING BOUNDARY LINE
	EXISTING WATER LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING FENCE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

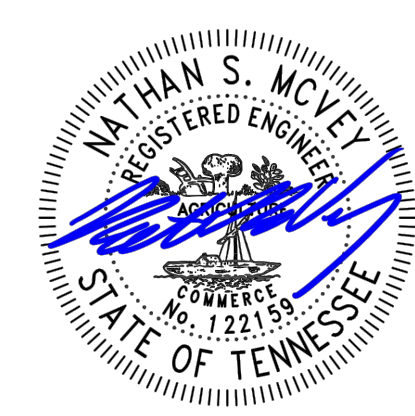


NO.	DATE	REVISIONS PER CITY COMMENTS
1	3/21/22	

DATE: 02/14/22  
 SCALE: AS SHOWN  
 DRAWN BY: T-SQUARE  
 REVIEWER: TET

**EXISTING CONDITIONS**  
 3RD CIVIL DISTRICT  
 MAURY COUNTY, TENNESSEE  
 MAP 52, PARCEL 14.00

**HOMESTEAD SOUTH**



3/21/22

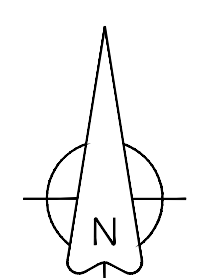
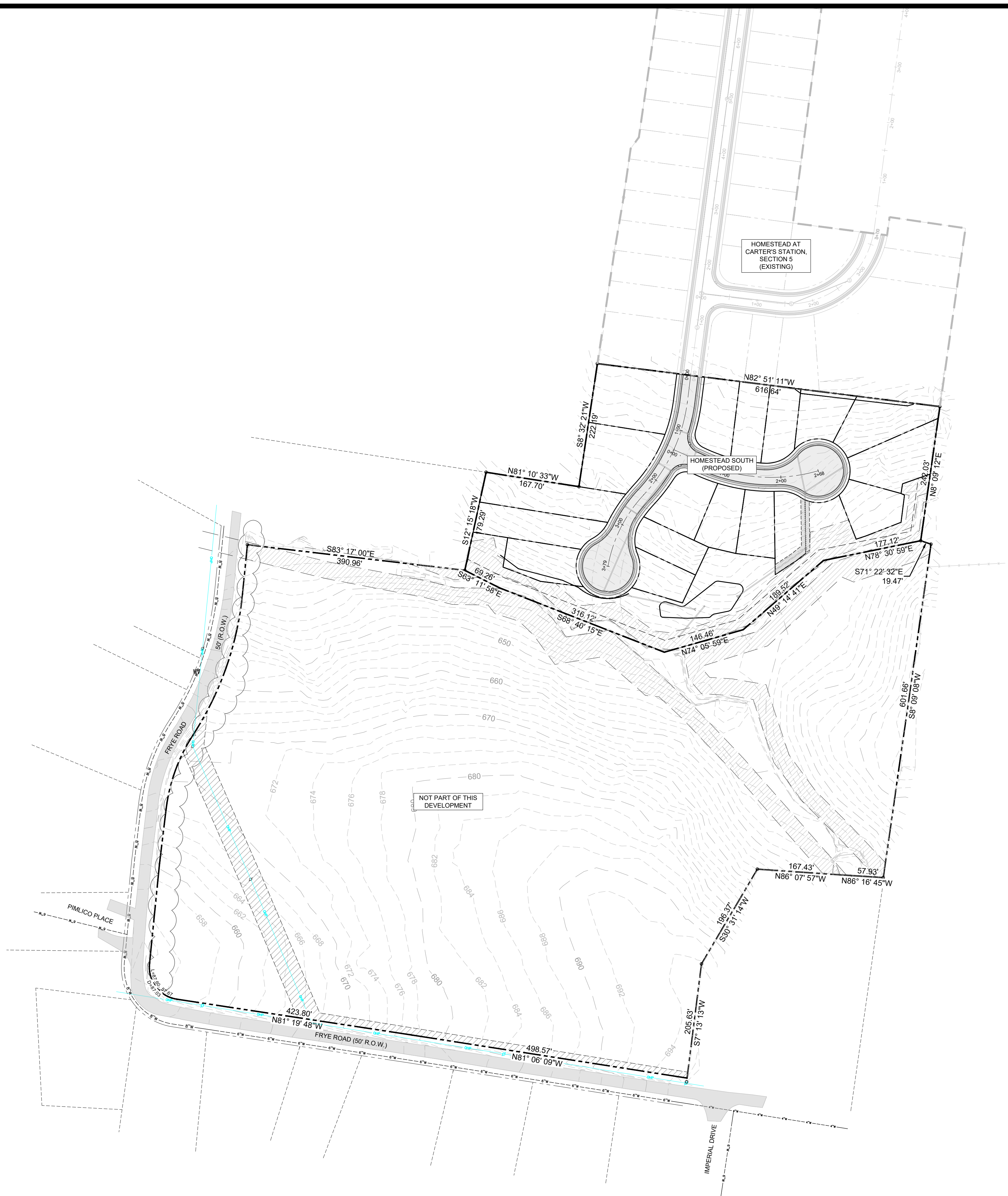
**PROJECT**  
18-0720

**SHEET**  
C-1.0

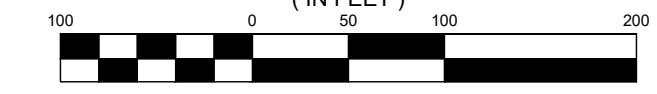
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OWNER OF RECORD NOMAJ PARTNERS LLC DEED BOOK: R2570 DEED PAGE: 1409
APPLICANT T-SQUARE ENGINEERING 1329 WEST MAIN ST FRANKLIN, TN 37064 615.678.8212





GRAPHIC SCALE  
(IN FEET)



SCALE: 1" = 100'

LEGEND

- EXISTING BOUNDARY LINE
- EXISTING MAJOR CONTOUR LINE
- EXISTING MINOR CONTOUR LINE
- PROPOSED LOT LINE
- FM --- PROPOSED SANITARY FORCE MAIN
- PROPOSED GRINDER PUMP
- PROPOSED WATER SERVICE
- PROPOSED CURB INLET
- PROPOSED BUILDING SETBACK
- PROPOSED DRAINAGE EASEMENT

NO.	DATE	REVISIONS
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OVERALL LAYOUT  
3RD CIVIL DISTRICT  
MAURY COUNTY, TENNESSEE  
MAP 52, PARCEL 14.00

HOMESTEAD SOUTH



3/21/22

PROJECT  
18-0720

SHEET  
C-2.0

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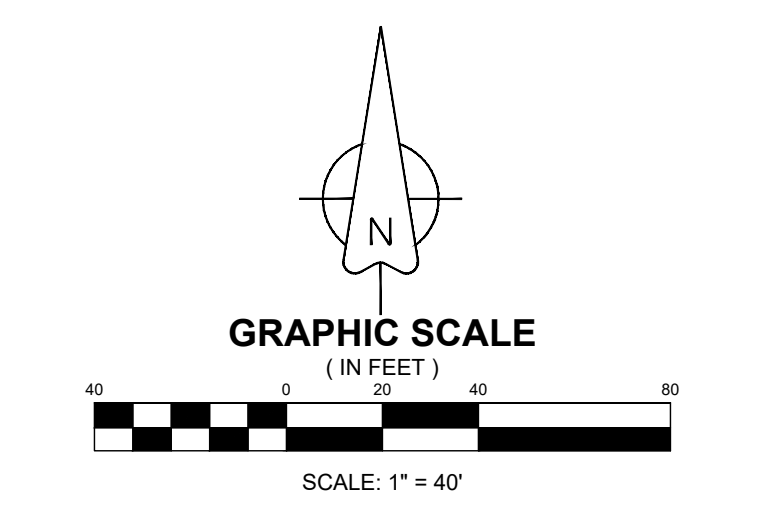
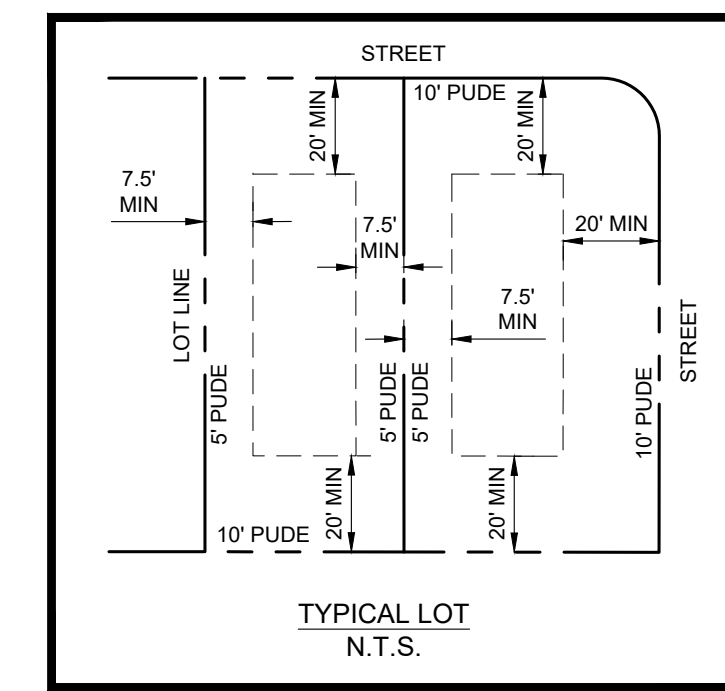
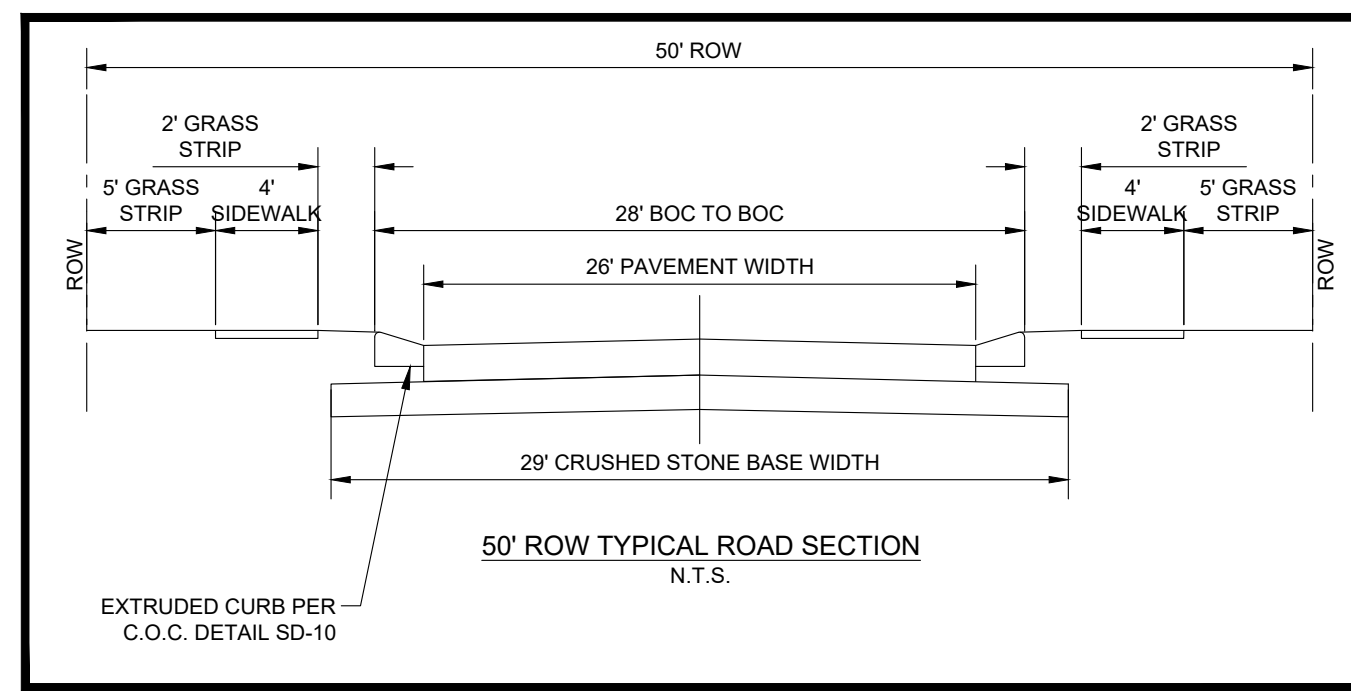
OWNER OF RECORD  
NOMAJ PARTNERS LLC  
DEED BOOK: R2570 DEED PAGE: 1409

APPLICANT  
T-SQUARE ENGINEERING  
1329 WEST MAIN ST  
FRANKLIN, TN 37064  
615.678.8212

Line #	Length	Direction
L1	48.90	S7° 08' 48.57"W
L2	137.39	N6° 58' 51.83"E
L3	63.33	N82° 51' 11.43"W
L4	55.00	N82° 51' 11.43"W
L5	139.85	N6° 59' 58.43"E
L6	55.02	S82° 51' 11.43"E
L7	108.60	N6° 13' 33.45"E
L8	100.86	S82° 51' 11.43"E
L9	93.12	S27° 26' 55.40"W
L10	149.39	N82° 51' 11.43"W
L11	21.13	N8° 09' 11.70"E
L12	177.01	N66° 23' 28.19"E
L13	100.57	S8° 09' 11.70"W
L14	25.43	S70° 34' 45.20"W
L15	96.40	N74° 39' 23.42"W
L16	6.91	S63° 48' 44.22"E
L17	48.82	S7° 09' 11.85"W
L18	67.88	S88° 46' 22.93"W
L19	18.13	S71° 53' 56.17"W
L20	84.63	N21° 15' 12.49"W
L21	8.90	S63° 56' 39.94"E
L24	20.35	S51° 14' 11.20"W
L25	46.23	S56° 34' 22.15"W
L26	28.89	N0° 49' 41.81"W
L27	84.63	N21° 15' 12.49"W
L30	49.87	N76° 56' 55.02"W
L31	28.82	N64° 54' 20.64"W
L32	110.39	N22° 43' 27.02"E

Line #	Length	Direction
L33	99.14	S64° 54' 20.64"E
L34	55.00	S25° 05' 39.36"W
L35	118.61	N64° 54' 20.64"W
L36	55.00	S25° 05' 39.36"W
L37	94.71	N73° 12' 02.66"W
L38	77.54	N82° 50' 57.35"W
L39	71.52	N69° 08' 56.76"W
L40	53.21	N9° 03' 04.28"E
L41	132.44	S80° 56' 55.72"E
L43	195.04	N80° 56' 55.72"W
L44	55.09	N12° 15' 18.40"E
L45	231.69	N80° 56' 55.72"W
L46	54.42	N12° 15' 18.40"E
L47	84.81	N80° 56' 55.72"W
L48	61.27	N8° 32' 20.76"E
L49	55.00	N8° 32' 20.73"E
L50	138.17	N80° 56' 55.72"W
L51	20.59	S40° 54' 19.30"W
L52	105.92	N8° 32' 20.77"E
L53	143.05	S82° 51' 11.43"E
L54	48.71	S7° 08' 48.57"W
L55	177.12	N78° 30' 59.34"E
L56	54.76	S12° 15' 18.40"W

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	48.60	325.00	8.57	S11° 50' 38"W	48.55
C2	34.76	25.00	79.66	S23° 42' 10"E	32.03
C3	52.89	275.00	11.02	S69° 02' 33"E	52.81
C4	55.11	275.00	11.48	S80° 17' 34"E	55.02
C5	7.24	275.00	1.51	N86° 47' 16"W	7.24
C6	60.26	63.31	54.54	S65° 07' 16"W	58.01
C7	75.51	57.00	75.90	S79° 29' 59"W	70.11
C8	38.74	57.00	38.94	S43° 04' 48"E	38.00
C9	38.74	57.00	38.94	N4° 08' 15"W	38.00
C10	33.94	57.00	34.12	N32° 23' 33"E	33.44
C12	40.03	63.00	36.41	S74° 13' 15"E	39.36
C13	9.06	325.00	1.60	N88° 22' 24"E	9.06
C16	50.02	325.00	8.82	S77° 16' 30"E	49.97
C17	49.50	325.00	8.73	N68° 30' 09"W	49.45
C18	36.35	25.00	83.30	S74° 12' 41"W	33.23
C19	59.50	325.00	10.49	S37° 48' 23"W	59.41
C20	28.39	225.00	7.23	S39° 26' 08"W	28.38
C21	9.65	225.00	2.46	N34° 35' 32"E	9.64
C22	47.93	63.00	43.59	N11° 34' 03"E	46.79
C23	13.42	63.00	12.20	N16° 19' 50"W	13.39
C24	64.10	56.96	64.48	N9° 47' 53"E	60.77
C25	97.56	56.98	98.10	N88° 57' 49"W	86.07
C26	71.59	57.00	71.96	S3° 56' 38"E	66.98
C27	29.29	57.00	29.45	S46° 45' 35"W	28.97
C28	39.55	63.04	35.94	S43° 30' 20"W	38.90
C29	60.07	275.00	12.52	S32° 30' 07"W	59.95
C30	107.81	275.00	22.46	S31° 49' 10"W	107.12
C31	62.36	275.00	12.99	S14° 05' 32"W	62.22



LEGEND	
---	EXISTING BOUNDARY LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	PROPOSED LOT LINE
---	FM - PROPOSED SANITARY FORCE MAIN
○	PROPOSED GRINDER PUMP
○	PROPOSED WATER SERVICE
○	PROPOSED CURB INLET
---	PROPOSED BUILDING SETBACK
---	PROPOSED DRAINAGE EASEMENT

NOTES:  
 (1) THIS SECTION TO RECEIVE MAIL SERVICE VIA A SPECIFIED CLUSTER MAIL BOX LOCATION IN HOMESTEAD AT CARTERS STATION.  
 (2) DEVELOPMENT TO BE SERVED BY GRINDER PUMPS TO GRAVITY SEWER IN HOMESTEAD AT CARTERS STATION.



PARCEL	SQ. FT.
1	15475.45
2	13513.65
3	13193.17
4	11810.95
5	8406.49
6	6111.50
7	7011.65
8	8940.84
9	7298.74
10	7137.64
11	6952.26
12	8161.29
13	12126.75
14	11513.63
15	7473.42
16	7310.88
17	7671.43
18	8369.80

TOTAL SITE DATA		
PROJECT NAME	HOMESTEAD SOUTH	
PROJECT NUMBER	18-0720	
ADDRESS	FRYE ROAD	
PARCEL ID	MAP 52, PARCEL 14.00	
	EXISTING/REQUIRED	PROPOSED
PROPERTY AREA	6.47 AC	6.47 AC
BASE ZONING	R6	R6
LOT AREA	-	4.22 AC
OPEN SPACE AREA	6.47 AC	1.50 AC (23.1%)
LOT DENSITY	-	18 LOTS
BUILDING SETBACKS		
FRONT	-	20'
REAR	-	20'
SIDE	-	7.5'
MINIMUM LOT SIZE	-	6,000 SF +
ERROR OF CLOSE	1/10,000	1/10,000

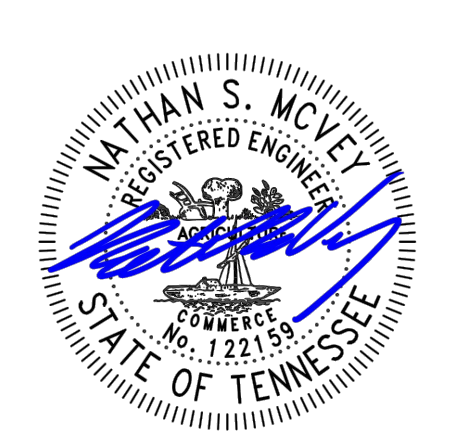
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OWNER OF RECORD  
 NOMAU PARTNERS LLC  
 DEED BOOK: R2570 DEED PAGE: 1409

APPLICANT  
 T-SQUARE ENGINEERING  
 1329 WEST MAIN ST  
 FRANKLIN, TN 37064  
 615.678.8212

NO.	DATE	REVISIONS PER CITY COMMENTS
1	3/21/22	

PRELIMINARY PLAT  
 3RD CIVIL DISTRICT  
 MAURY COUNTY, TENNESSEE  
 MAP 52, PARCEL 14.00



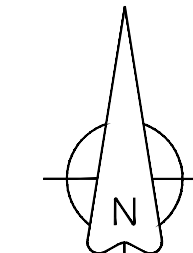
3/21/22

PROJECT  
 18-0720

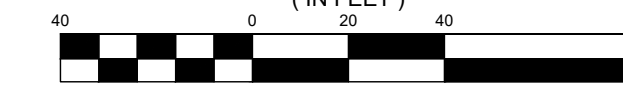
SHEET  
 C-2.1



HOMESTEAD SOUTH



GRAPHIC SCALE  
(IN FEET)



SCALE: 1" = 40'

LEGEND

- EXISTING BOUNDARY LINE
- - - EXISTING MAJOR CONTOUR LINE
- - - EXISTING MINOR CONTOUR LINE
- PROPOSED LOT LINE
- PROPOSED MAJOR CONTOUR LINE
- PROPOSED MINOR CONTOUR LINE
- PROPOSED CURB INLET
- ▽ PROPOSED HEADWALL



TIMOTHY AND DONNA NORMAN  
ZONING: RESIDENTIAL  
(Map 052 Parcel 13.00)  
(24.4 AC)

TIMOTHY AND DONNA NORMAN  
ZONING: RESIDENTIAL  
(Map 052 Parcel 9.01)  
(1.5 AC)

OWENS WILLIAM H. JR ETUX  
SUSAN J  
PLAT BK 12 PAGE 271 R.O.W.C.  
ZONING: R-10  
(Map 051 Parcel 001.01)  
(51.14 AC)

OWENS WILLIAM H. JR ETUX SUSAN J  
PLAT BK 12 PAGE 271 R.O.W.C.  
ZONING: R-10  
(Map 051 Parcel 001.01)  
(51.14 AC)

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APPLICANT T-SQUARE ENGINEERING 1329 WEST MAIN ST FRANKLIN, TN 37064 615.678.8212

NO.	DATE	REVISIONS PER CITY COMMENTS
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PRELIMINARY GRADING PLAN  
3RD CIVIL DISTRICT  
MAURY COUNTY, TENNESSEE  
MAP 52, PARCEL 14.00

HOMESTEAD SOUTH



3/21/22

PROJECT  
18-0720

SHEET  
C-2.2

